

#### **GRAND RAPIDS**

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# ORCHARD VIEW SCHOOLS (OVEE Secured Vestibule)



OVEE SECURED VESTIBULE

2820 MACARTHUR RD MUSKEGON, MI 49442

4/11/2025

## PROJECT CONTACT LIST

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# **CODE SUMMARY**

RENOVATIONS CONSIST OF REMODELING EXISTING PRIVATE OFFICE INTO A SECURED VESTIBULE ENTRANCE INTO THE EXISTING RECEPTION WAITING AREA. TWO (2) NEW OFFICE WILL BE LOCATED IN AN EXISTING CONFERENCE ROOM. HARDWARE AND LOW VOLTAGE SECURITY WILL BE ADDED TO EXISTING DOORS TO FORM THE SECURED AREA.

## APPLICABLE BUILDING CODES

## BUILDING CODE:

2015 MICHIGAN BUILDING CODE 2015 MICHIGAN REHABILITATION CODE

NFPA 101-2012 BUILDING CODE (MI FIRE

SAFETY STATE RULES): MECHANICAL CODE: PLUMBING CODE:

2021 MICHIGAN MECHANICAL CODE 2021 MICHIGAN PLUMBING CODE

2023 NATIONAL ELECTRICAL CODE

2023 MICHIGAN PART 8, ELECTRICAL CODE RULES

#### **BUILDING DATA**

**ALTERATIONS:** 

USES:

**ELECTRICAL CODE:** 

TOTAL BUILDING AREA: TOTAL RENOVATION AREA: CONSTRUCTION TYPE =

595 SQ FT **II-B** NON-COMBUSTIBLE NON-SPRINKLERED **LEVEL 2 -** (CHAPTER 8)

78,230 SQ FT

## USE AND OCCUPANCY

BUILDING IS CLASSIFIED AS

"E" EDUCATIONAL

"B" BUSINESS (EXISTING OCCUPANCIES) "E" EDUCATIONAL, "B" BUSINESS

DATE DESCRIPTION 4/11/25 **BIDS AND PERMITS** 

# PROJECT LOCATION MAP





DRAWING NUMBER

**G000** 

#### Chapter 7 - Means of Egress

Definitions Accessible Means of Egress (3.3.170.1) – A means of egress that provides an accessible route to an area of refuge, a horizontal exit, or public way.

7.1.3.1 - Exit Access Corridors - Corridors used as exit access and serving more than 30 occupants shall be separated by walls having a 1-hour rating.

Exception - Existing buildings, provided the occupancy classification hasn't changed. (We will employ this exception for Building A – the walls were built as school 1-hour walls)

 Headroom shall not be less than 7ft 6in., with projections from the ceiling not less than 6ft 8in. above the floor. • Existing buildings, the ceiling height shall be not less than 7ft from the floor, with projections from the ceiling not less than 6ft 8in. nominal above the floor.

#### 7.2.1 – Door Openings 7.2.1.2.1 – Measurement of Clear Width.

• Projections not more than 4in. into the door opening with on the hinge side shall not be considered reductions in clear width, provided that such projections are for purposes of accommodating panic hardware or fire exit hardware and not less than 34in., and not more than 48in., above the floor.

#### 7.2.1.2.2 – Measurement of Egress Capacity Width. 7.2.1.2.2.1 - Swinging Door Assemblies

For new door assemblies, clear measurement shall be taken with the leaf open 90 degrees, existing door assemblies in full open position

#### Projections of not more than 3 ½ in. at each side of the door openings at a height of not more than 38in. shall not be considered reductions in egress capacity width. 7.2.1.2.3 – Minimum Door Leaf Width

7.2.1.2.3.2 – Door openings in a means of egress shall be not less than 32 inches in clear width.

• Where a pair of door leaves is provided, one door leaf shall provide not less than a 32 in. (810 mm) clear width

In existing buildings, the existing door leaf width shall be not less than 28 in.

7.2.1.4 – Swing and Force to Open. 7.2.1.4.1 – Any door assembly in a means of egress shall be of the side-hinged or pivoted-swing type.

7.2.1.4.2 - Door Leaf Swing Direction - must swing in direction of egress where serving an occupant load of 50 or more. 7.2.1.4.3 – Door Leaf Encroachment

7.2.1.4.3.1 – During its swing, any door leaf in a means of egress shall not leave less than half of required width of aisle, corridor, passageway, landing unobstructed and shall not protrude more than 7 inches into required width when fully open. 7.2.1.4.5.1 - Forces required to fully open any door leaf manually in a means of egress shall not exceed 15 lbf to release the latch, 30 lbf to set the leaf in motion, and 15 lbf to open the leaf to the minimum required width.

The opening forces for interior side-hinged or pivoted-swinging door leaves without closers shall not exceed 5 The opening forces for existing door leaves in existing buildings shall not exceed 50 lbf applied to the latch stile.

7.2.4 – Horizontal Exits 7.2.4.3 - Fire Barriers – 2 hour fire resistance rating.

7.3.1 – Occupant Load 7.3.1.1.2 - For other than existing means of egress, where more than one means of egress is required, the means of egress shall be of such width and capacity that the loss of any one means of egress leaves available not less than 50 percent of the required

7.3.3.1 – Capacity Factors (Table 7.3.3.1) Stairways; 0.3 inches per person

Level Components and Ramps; 0.2 inches per person 7.4.1.2 – Minimum number of means of egress

• 500-1000 – not less than 3

Over 1000 – not less than 4 7.5.1.3.1 - Where more than one exit is required, they shall be located remotely from each other and shall be arranged to

minimize the possibility that both could be blocked. 7.5.1.3.2 – Where two exits are required, they must be separated by one half of the diagonal of the room

7.5.1.6 – Exit access from rooms or spaces shall be permitted to be through adjoining or intervening rooms or areas, provided that such rooms or areas are accessory to the area served.

7.7.1 - Exit Termination – All exits shall terminate directly at a public way or an exterior exit discharge.

7.12.1 - Mechanical equipment rooms, boiler rooms, furnace rooms shall be arranged to limit common path of travel to 50 feet.

#### Chapter 8 – Features of Fire Protection

8.2 - Construction and Compartmentation 8.2.2.2 – Fire compartments shall be formed with fire barriers that comply with Section 8.3 – Fire Barriers.

8.3 - Fire Barriers

8.3.1.2 - Fire barriers shall comply with one of the following: 1) The fire barriers are continuous from outside wall to outside wall or from one fire barrier to another, or a combination thereof, including continuity through all concealed spaces, such as those found above a ceiling,

including interstitial spaces 2) The fire barriers are continuous from outside wall to out-side wall or from one fire barrier to another, and from the floor to the bottom of the interstitial space, provided that the construction assembly forming the bottom of the

interstitial space has a fire resistance rating not less than that of the fire barrier. 8.3.1.3 - Walls used as fire barriers shall comply with Chapter 7of NFPA 221, Standard for High Challenge Fire Walls, Fire Walls, and Fire Barrier Walls. The NFPA 221 limitation on percentage width of openings shall not apply.

8.3.2.1.1 - Fire resistance-rated glazing tested in accordance with ASTM E 119, Standard Test Methods for Fire Tests of Building Construction and Materials, or ANSI/UL 263, Standard for Fire Tests of Building Construction and Materials, shall be permitted. 8.3.3.1 - Windows must be installed per NFPA 80

8.3.3.5 – Fire Protection-rated glazing shall be permitted in fire barriers having a rating of 1 hour or less. 8.3.3.11 - Windows shall not exceed 25 percent of the area of the fire barrier in which they are used.

8.3.4.2 - Opening Protectives (Table 8.3.4.2 - Minimum Fire Protection Ratings for Opening Protectives in Fire Resistance-Rated Assemblies)

2-hour fire barrier; 1.5 hour opening protection rating

1-hour fire barrier; 1-hour protection for vertical opening or exit enclosure; ¾ hour for openings other than vertical/exit enclosures

8.3.5.1 - Firestop Systems and Devices Required. Penetrations for cables, cable trays, conduits, pipes, tubes, combustion

and exhaust vents, wires, and similar items to accommodate electrical, mechanical, plumbing, and communications systems that pass through a wall, floor, or floor/ceiling assembly constructed as a fire barrier shall be protected by a firestop system or device.

The firestop system or device shall be tested in accordance with ASTM E 814. 8.3.5.6.3 - Where walls or partitions are required to have a minimum 1-hour fire resistance rating, recessed fixtures shall be installed in the wall or partition in such a manner that the required fire resistance is not reduced, unless one of the following is met 1) Any steel electrical box not exceeding 0.1 sq ft shall be permitted where the aggregate area of the openings provided for the boxes does not exceed 0.7 sq ft in any 100 sq ft of wall area, and, where outlet boxes are

> installed on opposite sides of the wall, the boxes shall be separated by one of the following: a) Horizontal distance of not less than 24 in. b) Horizontal distance of not less than the depth of the wall cavity, where the wall cavity is filled

with cellulose loose-fill, rock wool, or slag wool insulation

c) Solid fire blocking

d) Other listed materials and methods 2) Membrane penetrations for any listed electrical outlet box made of any material shall be permitted, provided that such boxes have been tested for use in fire resistance-rated assemblies and are installed in accordance

with the instructions included in the listing. 3) The annular space created by the membrane penetration of a fire sprinkler shall be permitted, provided that the space is covered by a metal escutcheon plate.

8.3.6 - Joints. 8.3.6.1 - The provisions of 8.3.6 shall govern the materials and methods of construction used to protect joints in between and at the perimeter of fire barriers or, where fire barriers meet other fire barriers, the floor or roof deck above, or the outside walls.

#### Chapter 10 – Interior Finish, Contents, and Furnishings

10.2.3.4 - Interior wall and ceiling products are required to be tested per NFPA 286: Class A; flame spread 0-25; smoke development 0-450 • Class B; flame spread 26-75; smoke development 0-450

• Class C; flame spread 76-200; smoke development 0-450 10.2.4.1 – Textile materials having a Class A rating shall be permitted on the walls or ceiling of rooms protected by a sprinkler

10.2.4.2 – Expanded vinyl wall coverings having a Class A rating shall be permitted on the walls or ceiling of rooms protected by a sprinkler system 10.2.7.3 - Interior floor finishes per NFPA 253

Class 1; critical radiant flux minimum of 0.45W/sq cm Class 2; critical radiant flux minimum of 0.22W/sq cm

10.3.1 – Draperies, curtains or other loosely hanging furnishings must be flame resistant per NFPA 701

10.3.2.1 – Upholstered furniture shall be resistant to a cigarette ignition per NFPA 260 & 261.

#### **Chapter 14 – New Educational Occupancies** (this will apply to the area of alterations)

system), 50 ft. (buildings fully protected)

14.1.6 – Minimum Construction Requirements – No requirements. 14.1.7.1 – Occupant Load (Table 7.3.1.2)

 Classrooms; 1 person per 20 nsf 14.2.2.2.2 – Door hardware – provide panic hardware for loads of 100 or more

14.2.3.2 - Minimum Corridor Width. Exit access corridors shall have not less than 6 ft of clear width.

14.2.5.1 – Arrangement of Means of Egress – per Section 7.5.

No common path of travel to exceed 75 ft. (building not protected throughout with automatic sprinkler system), 100 ft. (buildings fully protected)

No dead end corridors to exceed 20 ft. (building not protected throughout with automatic sprinkler

14.2.5.4 – Every room with more than 50 persons or space larger than 1,000 sq.ft. to have two exits.

14.2.6.2 – Travel distance – not to exceed 150 feet 14.3.1 – Protection of Vertical Openings – per Section 8.6

Unprotected vertical openings in accordance with 8.6.9.1.

14.3.2.1 – Protection from Hazards 14.3.2.1 - Rooms or spaces for the storage, processing, or use of materials shall be protected in accordance with the following: 1) Such rooms or spaces shall be separated from the remainder of the building by fire barriers having a minimum 1-hour fire resistance rating in the following areas:

a) Boiler and furnace rooms, unless such rooms enclose only air-handling equipment b) Rooms or spaces used for the storage of combustible supplies in quantities deemed hazardous by the authority having jurisdiction c) Rooms or spaces used for the storage of hazardous materials or flammable or combustible

d) Janitor closets 14.3.3.2 - Interior Wall and Ceiling Finish.

> 1) Exits — Class A 2) Other than exits — Class A or Class B

3) Low-height partitions not exceeding 60 in. and used in locations other than exits — Class A, Class B, or Class

1) The maximum floor area, including the aggregate area of all floors having a common atmosphere, exceeds

liquids in quantities deemed hazardous by recognized standards

14.3.3.3.2 - Interior floor finish in exit enclosures and exit access corridors and spaces not separated from them by walls complying with 14.3.6 shall be not less than Class II

14.3.6 – **Corridors** – 1-hour fire resistance rated 14.3.7 - Subdivision of Building Spaces.

14.3.7.1 - Educational occupancies shall be subdivided into compartments by smoke partitions having not less than a 1-hour fire resistance rating and complying with Section 8.4 where one or both of the following conditions exist:

2) The length or width of the building exceeds 300 ft.

**Chapter 15 – Existing Educational Occupancies** 15.1.6 - Minimum Construction Requirements - No requirements.

15.1.7 **– Occupant Load** (per Table 7.3.1.2) Classrooms; 1 person per 20 nsf

Shops, labs, vocational rooms: 50 nsf Assembly (Existing Media Center / Existing Multi-purpose Room); 15 nsf

15.2.2.2.2 - **Door hardware** - provide panic hardware for loads of 100 or more 15.2.3.2 - Minimum Corridor Width. Exit access corridors shall have not less than 6 ft of clear width.

15.2.5.1 – Arrangement of Means of Egress – per Section 7.5. No common path of travel to exceed 75 feet

 No dead end corridors to exceed 20 feet 15.2.5.4 – Every room with more than 50 persons or 1.000 sq.ft, to have two exits.

15.2.6.2 – Travel distance – not to exceed 150 feet 15.2.11.1 - **Windows for Rescue.** 

15.2.11.1.1 - Every room or space greater than 250 sq. ft. and used for classroom or other educational purposes or normally subject to student occupancy shall have not less than one outside window for emergency rescue that complies with all of the following, unless otherwise permitted by 15.2.11.1.2:

1) Such windows shall be openable from the inside without the use of tools and shall provide a clear opening of not less than 20 in. in width, 24 in. in height, and 5.7 sq. ft. in area. 2) The bottom of the opening shall be not more than 44 in. above the floor, and any latching device shall be capable of being operated from not more than 54 in. above the finished floor. 3) The clear opening shall allow a rectangular solid, with a width and height that provides not less than the

required 5.7 sq. ft. opening and a depth of not less than 20 in., to pass fully through the opening. 15.2.11.1.2 - The requirements of 15.2.11.1.1 shall not apply to any of the following: 2) Where the room or space has a door leading directly to an exit or directly to the outside of the building 3) Where the room has a door, in addition to the door that leads to the exit access corridor as required by 15.2.5.5, and such door leads directly to another corridor located in a compartment separated from the

compartment housing the corridor addressed in 15.2.5.5 by smoke partitions in accordance with Section 8.4. 15.3.3.2 - Interior Wall and Ceiling Finish. 1) Exits — Class A

2) Corridors and lobbies — Class A or Class B

3) Low-height partitions not exceeding 60 in. and used in locations other than exits — Class A, Class B, or Class

15.3.6 - Corridors - ½ hour fire resistant rated in accordance with Section 8.3 (Fire Barriers) 15.3.7 - Subdivision of Building Spaces.

15.3.7.1 - Educational occupancies shall be subdivided into compartments by smoke partitions having not less than a 1-hour fire resistance rating and complying with Section 8.4 where one or both of the following conditions exist: 1) The maximum area of a compartment, including the aggregate area of all floors having a common

atmosphere, exceeds 30,000 sq.ft. 2) The length or width of the building exceeds 300 ft.

15.7.4 – Furnishings and Decorations. 15.7.4.1 - Draperies, curtains, and other similar furnishings and decorations in educational occupancies shall be in accordance

15.7.4.2 - Clothing and personal effects shall not be stored in corridors, unless otherwise permitted by one of the following: . This requirement shall not apply to corridor areas protected by a smoke detection system in accordance with

1) The artwork and teaching materials shall not exceed 20 percent of the wall area in a building that is not

3) This requirement shall not apply to storage in metal lockers, provided that the required egress width is maintained. 15.7.4.3 - Artwork and teaching materials shall be permitted to be attached directly to the walls in accordance with the following:

protected throughout by an approved automatic sprinkler system in accordance with Section 9.7.

#### Chapter 43 - Building Rehabilitation

43.2.2 - Special Definitions.

43.2.2.1 - Categories of Rehabilitation Work. The nature and extent of rehabilitation work undertaken in an existing building. 43.2.2.1.1 - Repair. The patching, restoration, or painting of materials, elements, equipment, or fixtures for the purpose of maintaining such materials, elements, equipment, or fixtures in good or sound condition.

43.2.2.1.2 - Renovation. The replacement in kind, strengthening, or upgrading of building elements, materials, equipment, or fixtures, that does not result in a reconfiguration of the building spaces within.43.2.2.1.3 Modification. The reconfiguration of any space; the addition, relocation, or elimination of any door or window; the addition or elimination of load-bearing elements; the reconfiguration or extension of any system; or the installation of any additional equipment

43.2.2.1.4 - Reconstruction. The reconfiguration of a space that affects an exit or a corridor shared by more than one occupant space; or the reconfiguration of a space such that the rehabilitation work area is not permitted to be occupied because existing means of egress and fire protection systems, or their equivalent, are not in place or continuously maintained. 43.2.2.2 - **Equipment or Fixture.** Any plumbing, heating, electrical, ventilating, air-conditioning, refrigerating, and fire protection

equipment; and elevators, dumbwaiters, escalators, boilers, pressure vessels, or other mechanical facilities or installations related to building services. 43.2.2.3 - Load-Bearing Element. Any column, girder, beam, joist, truss, rafter, wall, floor, or roof sheathing that supports any vertical load in addition to its own weight, or any lateral load.

43.5 - Modifications. 43.5.1.3 - Newly constructed elements, components, and systems shall comply with the requirements of other sections of this Code applicable to new construction.

# Department of Licensing and Regulatory Affairs State Fire Safety Board New and Existing School, College, and

14.2.11.1.1. The school or designated representative shall ensure every room or space which is more than 250 square feet and which is used for classroom or other educational purposes or is normally subject to student occupancy shall have not less than 1 outside window for emergency rescue or ventilation that complies with the following unless otherwise permitted by section

> 1) The windows shall be openable from the inside without the use of tools, only held closed by a single operation lock, and shall provide a clear opening of not less than 20 inches in width, 24 inches (61 centimeters) in height, and 5.7 square feet (0.5 square meters) in area. A screen on the window shall be readily removable without any special knowledge or tools. 2) The bottom of the opening shall be not more than 44 inches above the floor, and any latching device shall be

> capable of being operated from not more than 54 inches (1370 mm) above the finished floor. 3) The clear opening shall allow a rectangular solid, with a width and height that provides not less than the required 5.7 square feet (0.5 square meters) opening and a depth of not less than 20 inches (510 millimeters), to

4) The windows shall be accessible by the fire department and shall open into an area that has access to a public way. Windows opening onto an open court, as defined in the code, are acceptable. 5) The windows shall be identified by a permanent durable and legible sign having letters that are not less than

5/8 of an inch high and 1/8 of an inch wide. The sign shall read "rescue window." 14.2.11.1.3. Windowless student occupied rooms in additions to existing buildings or renovated buildings shall be permitted where it is impractical to comply with section 14.2.11.1.1 where all of the following:

1) A minimum of 50% of the required exits pass into a separate atmosphere created by a minimum 2-hour fire rated barrier with labeled 90-minute fire rated door assemblies in all openings. Glazing, other than permitted in the door by NFPA 80, shall be permitted only if the glazing has been tested for a 2-hour rating as well. The fire barrier shall completely separate the building from exterior wall to exterior wall. 2) Each separate area shall have approved exiting pursuant to the code. 3) A maximum of 25% of the total area of the student occupied rooms in the building shall be permitted to be

#### CODE REVIEW - 2015 MICHIGAN REHABILITATION FOR EXISTING BUILDINGS

#### 2015 Michigan Rehabilitation Code for Existing Buildings

**Chapter 4 – Prescriptive Compliance Method** (referenced for compliance with chapters 5-8)

401.2 - Building materials and systems

401.2.1 - Existing Materials - already in use in compliance with requirements in effect at time of erection shall be permitted to remain unless determined by code official to be unsafe. 401.2.2 - New and replacement materials - materials permitted by the code for new construction shall be used.

403.1 - General - Except for 401.2 or this section, alterations to any building shall comply with the requirements of the IBC for new construction. Alterations shall be such that the existing building is no less conforming to the provisions of the IBC than the existing building was prior to the alteration.

403.3 – Existing structural elements carrying gravity load – if load is increased by 5% then structural element is to be strengthened 404 - Repairs

404.1 - General - Buildings and structures, and parts thereof, shall be repaired in compliance with Sections HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/4/prescriptive-compliance-method#401.2"401.2 and 404. Work on nondamaged components that is necessary for the required HYPERLINK "https://up.codes/viewer/michigan/mirehabilitation-code-2015/chapter/2/definitions#repair"repair of damaged components shall be considered part of the HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#repair"repair and shall not be subject to the requirements for HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#alteration"alterations in this chapter. Routine maintenance required by HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/4/prescriptive-compliance-method#401.2"Section 401.2, ordinary HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#repair"repairs exempt

from permit in accordance with HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/1/scope-andadministration#105.2"Section 105.2, and abatement of wear due to normal service conditions shall not be subject to the requirements for HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"repairs in this section.

410 - Accessibility for Existing Buildings 410.3 - Extent of application - an alteration shall not impose a requirement for greater accessibility than that which would be required for new construction. Alterations shall not reduce accessibility of a building. 410.6 - Alterations - A building that is altered shall comply with IBC chapter 11 and ICC/A117.1 unless technically infeasible. When compliance is technically infeasible, the alteration shall provide access to the maximum extent feasible.

> Exception 1 – the altered element or space is not required to be on an accessible route, unless required by section 410.7. **Exception 2** – Accessible means of egress required by IBC chapter 10 are not required. **Exception 3** – Buildings, structures, or improved areas which exist on or before the effective date of these rules and are in compliance with the code at the time of issuance of the certificate of occupancy unless the alteration

specifically modifies an area covered by sections 410.6 to 410.8. 410.7 – Alterations affecting an area containing a primary function – where an alteration affects the accessibility to a primary function, the route to the primary function shall be accessible. The route shall include toilet facilities and drinking fountains. 410.8 - Scoping for alterations

**410.8.1 – Entrances** – Accessible entrances shall be provided per IBC section 1105. 410.8.11 - Toilet rooms - Where it is technically infeasible to alter existing toilet facilities to be accessible, an accessible family toilet per IBC 1109.2 is permitted. The family facility shall be located on the same floor and in the same area as the existing

410.8.14 - Thresholds - maximum height at doorways shall be 3/4 inch and have beveled edges.

#### Chapter 5 - Classification of Work

502.1 - Scope - HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"Repairs, as defined in HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#2"Chapter 2, include the patching or restoration or replacement of damaged materials, elements, HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-

code-2015/chapter/2/definitions#equipment\_or\_fixture"equipment or fixtures for the purpose of maintaining such components in good or sound condition with respect to existing loads or performance requirements. 502.3 - Related Work - Work on nondamaged components that is necessary for the required repair of damaged components shall be considered part of the repair and shall not be subject to the provisions of chapter 7 or 8.

503 - Alteration - Level 1 **503.1 - Scope** - Level 1 HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#alteration"alterations include the removal and replacement or the covering of existing materials, elements, equipment, or fixtures using new materials, elements, equipment, or fixtures that serve the same purpose 504 – Alteration – Level 2

504.1 - Scope - Level 2 HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#alteration"alterations include the reconfiguration of space, the HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#addition"addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment.

## Chapter 6 – Repairs

601.2 - Conformance - The work shall not make the building less conforming than it was before the HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#repair"repair was undertaken.

602 - Building Elements and Materials 602.1 - Existing Building Materials - Materials already in use in a building in compliance with requirements or approvals in effect at the time of their erection or installation shall be permitted to remain in use unless determined by the HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#code\_official"code official to render the building or structure HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#unsafe"unsafe or HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-

code-2015/chapter/2/definitions#dangerous"dangerous as defined in HYPERLINK "https://up.codes/viewer/michigan/mirehabilitation-code-2015/chapter/2/definitions#2"Chapter 2. 602.2 - New and Replacement Materials - Except as otherwise required or permitted by this code, materials permitted by the applicable code for new construction shall be used. Like materials shall be permitted for HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#repair"repairs and HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#alteration"alterations, provided

code-2015/chapter/2/definitions#dangerous"dangerous or HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#unsafe"unsafe condition, as defined in Chapter HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#2"2, is created. Hazardous materials, such as asbestos and lead-based paint, shall not be used where the code for new construction would not permit their use in buildings of similar occupancy, purpose and location. 602.3 - Glazing in Hazardous Locations - Replacement glazing in hazardous locations shall comply with the safety glazing

requirements of the HYPERLINK "https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code or HYPERLINK "https://up.codes/viewer/michigan/mi-residential-code-2015" International Residential Code as applicable. 603 - Fire Protection - HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"Repairs shall be done in a manner that maintains the level of fire protection provided.

604 - Means of Egress - HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"Repairs shall be done in a manner that maintains the level of protection provided for the means of egress. 605 - Accessibility - HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-

code-2015/chapter/2/definitions#repair"Repairs shall be done in a manner that maintains the level of accessibility provided. 606 - Structural - Structural HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"repairs shall be in compliance with this section and HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/6/repairs#601.2"Section 601.2. Regardless of the extent of structural or nonstructural damage, HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#dangerous conditions shall be eliminated. Regardless of the scope of HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#repair"repair, new structural members and

connections used for HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"repair or HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#rehabilitation"rehabilitation shall comply with the detailing provisions of the HYPERLINK "https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code for new buildings of similar structure, purpose and location. 607 - Electrical

607.1 - Material - Existing electrical wiring and equipment undergoing HYPERLINK "https://up.codes/viewer/michigan/mirehabilitation-code-2015/chapter/2/definitions#repair"repair shall be allowed to be repaired or replaced with like material. 608 - Mechanical - Existing mechanical systems undergoing HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#repair"repair shall not make the building less conforming than it was before the HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#repair"repair was undertaken. 609 - Plumbing

609.1 - Materials - Plumbing materials and supplies shall not be used for HYPERLINK "https://up.codes/viewer/michigan/mirehabilitation-code-2015/chapter/2/definitions#repair"repairs that are prohibited in the HYPERLINK "https://up.codes/viewer/michigan/mi-plumbing-code-2015" International Plumbing Code. **609.2 - Water Closet Replacement -** The maximum water consumption flow rates and quantities for all replaced water closets

shall be 1.6 gallons (6 L) per flushing cycle. **Exception:** Blowout-design water closets [3.5 gallons per flushing cycle].

no HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-

#### Chapter 7 – Alterations – Level 1

702 - Building Elements and Materials **702.1 – Interior finishes** – all newly installed interior wall and ceiling finishes shall comply with IBC Chapter 8 702.2 - Interior floor finish - new interior floor finish, including carpeting, shall comply with IBC Section 806. **702.3 – Interior trim** – all new trim shall comply with IBC Section 806.

702.6 - Materials and Methods - All new work shall comply with the materials and methods requirements in the HYPERLINK "https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code, HYPERLINK "https://up.codes/viewer/michigan/iecc-2015" International Energy Conservation Code, International Mechanical Code, and HYPERLINK "https://up.codes/viewer/michigan/mi-plumbing-code-2015" International Plumbing Code, as applicable, that specify material standards, detail of installation and connection, joints, penetrations, and continuity of any element,

component, or system in the building. 703 - Fire Protection - Alterations shall be done in a manner that maintains the level of fire protection provided. **704 – Means of Egress** – Alterations shall be done in a manner that maintains the level of protection provided. **705 – Accessibility** – A building or element that is accessible shall remain accessible.

International Energy Conservation Code as they relate to new construction only.

level-2#805.6"Section 805.6.

rehabilitation-code-2015/chapter/2/definitions#work\_area"work area.

707 – Structural 707.2 - Replacement of roofing or equipment - where replacement results in additional dead loads, structural component shall comply with the gravity load requirements of IBC

Exception 1 – where dead load does not increase by more than 5 percent 708 - Energy Conservation **708.1 Minimum Requirements** – Level 1 alterations are permitted without requiring the entire building to comply with the energy requirements of the International Energy Conservation Code. The alterations shall conform to the requirements of the

#### Chapter 8 - Alterations - Level 2

**801.2 - Alteration Level 1 Compliance** - In addition to the requirements of this chapter, all work shall comply with the requirements of HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/7/alterations-level-1#

801.3 - Compliance - All new construction elements, components, systems, and spaces shall comply with the requirements of the HYPERLINK "https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code. **Exceptions:** 

Windows may be added without requiring compliance with the light and ventilation requirements of the HYPERLINK "https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code.

Newly installed electrical equipment shall comply with the requirements of HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/8/alterations-level-2#808"Section 808. The length of dead-end corridors in newly constructed spaces shall only be required to comply with the provisions of HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/8/alterations-

The minimum ceiling height of the newly created habitable and occupiable spaces and corridors shall be 7 feet. 803 - Building Elements and Materials 803.4 - Interior Finish - The interior finish of walls and ceilings in exits and corridors in any HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#work\_area"work area shall comply with the requirements of the HYPERLINK "https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code. **Exception:** Existing interior finish materials that do not comply with the interior finish requirements of the HYPERLINK

"https://up.codes/viewer/michigan/mi-building-code-2015" International Building Code shall be permitted to be treated with an HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#approved"approved fireretardant coating in accordance with the manufacturer's instructions to achieve the required rating. 803.4.1 - Supplemental Interior Finish Requirements - Where the HYPERLINK "https://up.codes/viewer/michigan/mirehabilitation-code-2015/chapter/2/definitions#work\_area"work area on any floor exceeds 50 percent of the floor

area, HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/8/alterations-level-2#803.4"Section 803.4 shall also apply to the interior finish in exits and corridors serving the HYPERLINK "https://up.codes/viewer/michigan/mirehabilitation-code-2015/chapter/2/definitions#work area throughout the floor. Exception: Interior finish within tenant spaces that are entirely outside the HYPERLINK "https://up.codes/viewer/michigan/mi-

804 – Fire Protection 804.4 - Fire alarm and detection - An HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#approved"approved fire alarm system shall be installed in accordance with Sections HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/8/alterations-level-2# 804.4.1"804.4.1 through HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/8/alterations-level-2 #804.4.3"804.4.3. Where automatic sprinkler protection is provided in accordance with HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/8/alterations-level-2#804.2"Section 804.2 and is connected to the building fire alarm system, automatic heat detection shall not be required.

An HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#approved"approved automatic fire detection system shall be installed in accordance with the provisions of this code and NFPA 72. Devices, combinations of devices, appliances, and equipment shall be HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#approved"approved. The automatic fire detectors shall be smoke detectors, except that an HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#approved"approved alternative type of detector shall be installed in spaces such as boiler rooms, where products of combustion are present during normal operation in sufficient quantity to actuate a smoke detector. 804.4.1.1 - Group E - Install fire alarm system in work areas of Group E per IFC for existing Group E occupancies.

805 - Means of Egress 805.3 - Number of exits **805.3.1 – Minimum number** – Every story shall be provided with number of exits per IBC.

travel distance to an exit exceeds 75 feet shall have a minimum of two egress doorways.

805.4 – Egress doorways 805.4.1 - Two egress doorways required - HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitationcode-2015/chapter/2/definitions#work area"Work areas shall be provided with two egress doorways. 805.4.1.1 - Occupant load and travel distance - all rooms and spaces having an occupant load greater than 50 or which the

**Exception 1** – storage rooms having a maximum occupant load of 10. 805.4.2 - Door swing - all egress doors serving an occupant load greater than 50 shall swing in the direction of exit travel. 805.4.4 - Panic hardware - In buildings or portions thereof of Group A assembly with an occupant load greater than 100 to be

equipped with latching devices and panic hardware. 805.4.4.1 - where work area exceeds 50 percent of the floor, panic hardware shall comply with 805.4.4 throughout floor.

**805.6 – Dead ends** – 35 feet (Also see NFPA 101 Section 10-2.5.1) **805.8 – Exit signs** – provide exit signs per IBC.

806 - Accessibility - A building, facility, or element that is altered shall comply with Section 410. 807 – Structural **807.2 – New structural elements** – per IBC

as a result of an alteration shall be the loads applicable at the time the building was constructed. 807.4 – Existing structural elements carrying gravity loads – Existing structural elements supporting any additional gravity loads as a result of the alterations, including the effects of snow drift, shall comply with IBC. **Exception 1** – Structural elements whose stress is not increased by more than 5 percent.

807.5 – Existing structural elements resisting lateral loads – If more than 10 percent greater due to alteration, then bring into

807.3 - Minimum design loads - minimum design loads on existing elements of a structure that do not support additional loads

compliance. 808 - Electrical 808.1 - New installations - All newly installed electrical equipment and wiring relating to work done in any HYPERLINK "https://up.codes/viewer/michigan/mi-rehabilitation-code-2015/chapter/2/definitions#work area"work area shall comply with all applicable requirements of HYPERLINK "https://up.codes/viewer/michigan/nfpa-70-2017" NFPA 70.

809 - Mechanical **809.1 – Reconfigured or converted spaces** – provide with natural or mechanical ventilation in accordance with IMC. 809.2 - Altered existing systems - In mechanically ventilated spaces, existing mechanical ventilation systems that are altered shall provide not less than 5 cfm per person of outdoor air and not less than 15 cfm of ventilation air per person; or not less than determined by Indoor Air Quality Procedure of ASHRAE 62.

809.3 Local Exhaust - All newly introduced devices, equipment, or operations that produce airborne particulate matter, odors,

such quantities as to affect adversely or impair health or cause discomfort to occupants shall be provided with local exhaust.

fumes, vapor, combustion products, gaseous contaminants, pathogenic and allergenic organisms, and microbial contaminants in

808.2 - Existing installations - Existing wiring in Use Groups A1, A2, A5, H, and I shall be upgraded to meet requirements of

**810 – Plumbing** – Where the occupant load of the story is increased by more than 20 percent, plumbing fixtures for the story shall be provided per the IPC based on increased occupant load. 811 - Energy Conservation - Level 2 alterations are permitted without requiring the entire building to comply with the energy requirements of the International Energy Conservation Code. Alterations are to comply with the IECC as they relate to new

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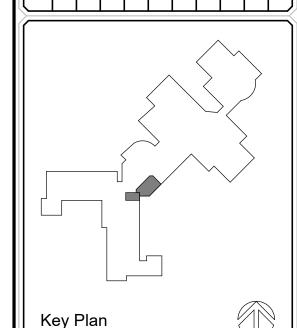
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**Colliers** Grand Rapids, MI 49504

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PROIECT NUMBER:

Phone: 616.827.4270 Engineering & Design urveying, CT P.C.

E POST

DRAWING NAME:

CODE REFERENCE

GRAND RAPIDS

560 5th St. NW

Suite 305

B HUYLER

5004490A

G001

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

#### ON 2021 IPC) INCLUDING MICHIGAN ADDENDA AND ERRATA; 2023 MICHIGAN ELECTRICAL CODE, PART 8 RULÈS (BY REFERENCE, 2023 NEC); BOILER CODE (2019 ASME BOILER AND PRESSURE VESSEL CODES WITH ADDENDA); ELEVATOR CODE (2010 ASME 17.1, 2011 ASME A18.1 AND ELEVATOR SAFETY BOARD GENERAL RULES, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-09), AND OTHER LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.

BUILDING CODE SUMMARY

HISTORIC BUILDING (CHAPTER 12) RELOCATED BUILDING (CHAPTER 13)

USES: \_EDUCATION, BUSINESS

PROJECT INFORMATION:							
PROJECT NAME:		ORCHARD VIEW PUBLIC	SCHOOLS RENOV	ATION			
PROJECT NUMBER	₹:	25004490A					
PREPARED BY: S K		HUMALO	CHECKED BY:	B HUYLER			
DATE:	3/27	7/24	DATE:				

APPLICABLE CODE:
COMPLIANCE WITH THE: 2015 MICHIGAN BUILDING, REHABILITATION, AND ENERGY CONSERVATION CODES (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 MICHI

DATE.	3/2//24	DATE.	
REHABILITA <sup>*</sup>	TION OF EXISTING STRUCTURES:		
PER THE 20	15 MICHIGAN RAHABILITATION CO	DE FOR EXISTING BU	ILDINGS (2015 EIBC)
REPAIRS	(CHAPTER 6)		
ALTERAT	IONS - LEVEL 1 (CHAPTER 7)		
X ALTERAT	IONS - LEVEL 2 (CHAPTER 8)		
ALTERAT	IONS - LEVEL 3 (CHAPTER 9)		
☐ CHANGE	OF OCCUPANCY (CHAPTER 10)		
FORME	R OCCUPANCY CLASSIFICATION(S	S):	
NEW O	CCLIDANICY CLASSIFICATION(S).		

I ONWER OCCUPANCE CLASSIFICATION	i(3)		
NEW OCCUPANCY CLASSIFICATION(S):			
PARTIAL CHANGE OF OCCUPANCY:	YES	□NO	
IF YES: ☐ SEPARATED ☐ NO	T SEPARATED		
ADDITIONS (CHAPTER 11)			
SEPARATED ADDITION:	☐ YES	☐ NO	
IF YES, FIRE RESISTENCE RATING:			
	☐ FIRE WALL		

☐ FIRE BARRIER

ACCESSIBILITY UPGRADE SECTION 410 AND ADDEN					
OCCUPANCY CLASSIFICATION	ON AND MIXED OCCUP	ANCIES:			(CHAPTERS 3
SINGLE	ACCESSORY -	GROUP ;	% OF FLC	OR AREA	
☑ MIXED OCCUPANCY	SEPARATED	X NON-SE	PARATED		BINATION
IF SEPARATED, FIRE RES	ISTANCE RATING OF F	FIRE BARRIER:	(TABLE 5	508.4)	H

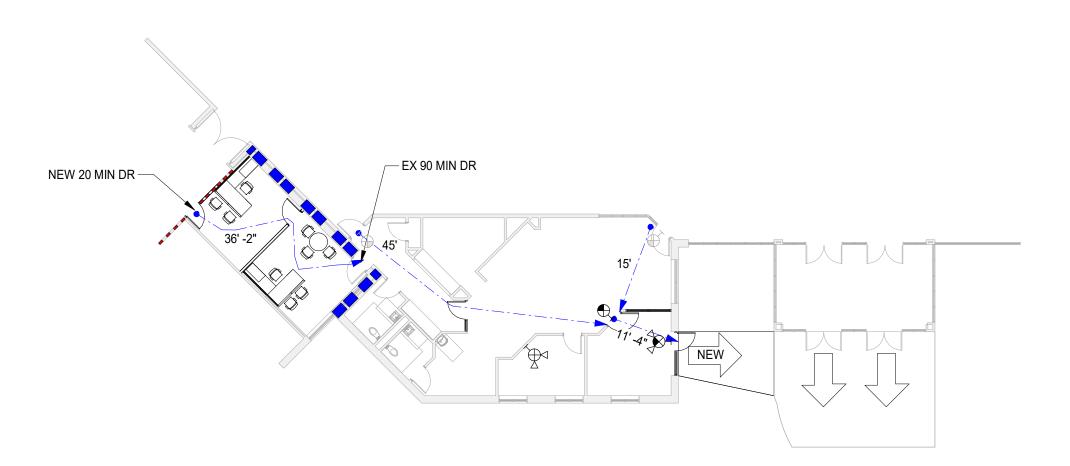
OCCUPANCY CLASSIFICATION(S): EDUCATION, BUSINESS (EXISTING OCCUPANCIES)

AUTOMATIC SPRINKI		PROVIDED THE	ROUGHOUT BUILDING:	
		R SYSTEM: FX	ISTING PARTIAL IN AREA OF WORK	
X YES □ NO				
NFPA STANDARD:	<u> </u>	☐ 13R	ALT. FIRE PROTECTION SYSTEM:	

CONSTRUCTION TYPE: II (000) SECT	ION 601		(CHAPTER 6)
FIRE RESISTANCE OF BUILDING ELEMENT	S:		
BUILDING ELEMENTS	REQUIRED	PROVIDED	SECTION
STRUCTURAL FRAME			(TABLE 601)
BEARING WALLS (EXTERIOR)			(TABLE 601)
BEARING WALLS (INTERIOR)			(TABLE 601)
NON-BEARING WALLS (EXTERIOR)			(TABLE 602)
NON-BEARING WALLS (INTERIOR)			(TABLE 601)
FLOOR CONSTRUCTION			(TABLE 601)
ROOF CONSTRUCTION			(TABLE 601)

HEIGHT & AREA - ACTU	JAL:						(CHAPTER 5)	
BUILDING HEIGHT		HEIGHT	IN FEET	HEIGH	T IN STORIES			
EXISTING			ft	1	/ 2 @ GYM			
BUILDING AREA SUMMARY	NEW		EXISTING		ADDITION		TOTAL	
FIRST		sf	78,230	sf		sf	78,230	sf

NTERIOR FINISH:			(CHAPTER
WALL AND CEILING			
OCCUPANCY:			
FINISH CLASS	LOCATION		
X A	X EXITS	☐ CORRIDORS/ EXIT ACCESS	☐ ROOMS/ SPACES
X B	EXITS	X CORRIDORS/ EXIT ACCESS	ROOMS/ SPACES
X C	EXITS	CORRIDORS/ EXIT ACCESS	ROOMS/ SPACES
FLOORING			
FINISH CLASS	OCCUPANO	EIES	
	☐ ALL	GROUPS:	
	X ALL	X GROUPS: B	
	_		



CODE COMPLIANCE DIAGRAM - AREA OF WORK SCALE: 1/16" = 1'-0"

# EXISTING 64" W EXISTING 64" W EXISTING 64" W SERVING & CAFETERIA RENOVATIONS: 4,300 SQ.FT FIRE RATING LEGEND 1 HOUR FIRE WALL SMOKE RESISTANT CONSTRUCTION EXISTING 32" W EXISTING 96" W A115 A11NEW 32" W EXISTING 128" W RENOVATIONS AND/OR EXISTING CONSTRUCTION EXISTING 64" W EXISTING 96" V

#### **GENERAL NOTES**

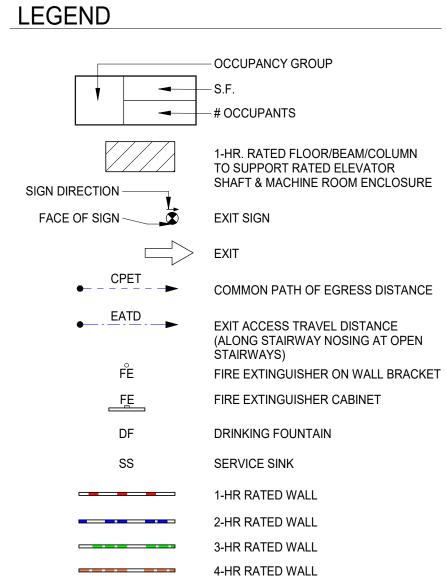
- 1. APPLICABLE CODES: A. WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
- A. PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE
- B. OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.

AUTHORITY HAVING JURISDICTION.

CERTIFICATIONS:

COMPLIANCE:

A. THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.





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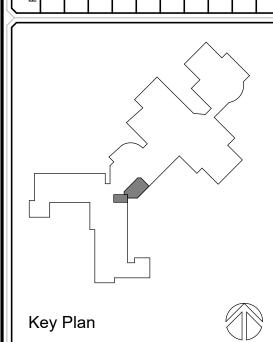
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Grand Rapids, MI 49504 Phone: 616.827.4270 & Design

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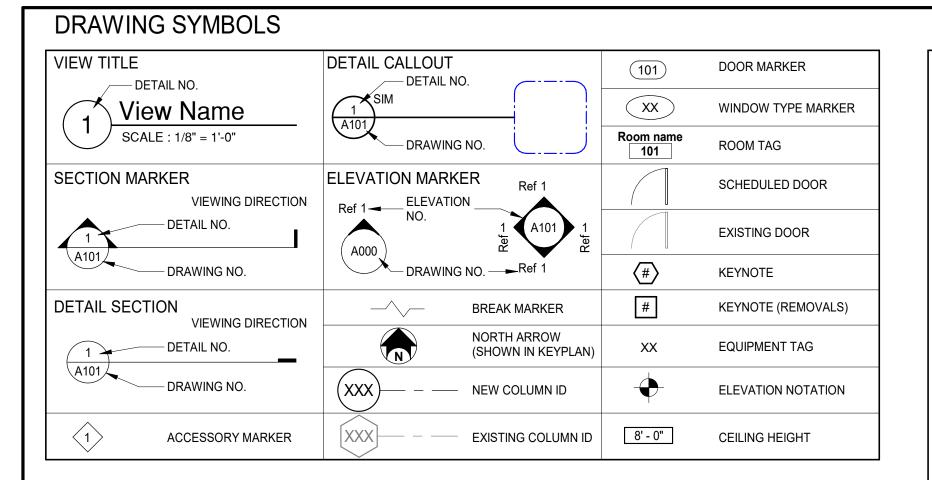
Suite 305

CODE COMPLIANCE

& LIFE SAFETY PLANS

G002

CODE COMPLIANCE DIAGRAM - OVERALL SCALE: 1/32" = 1'-0"



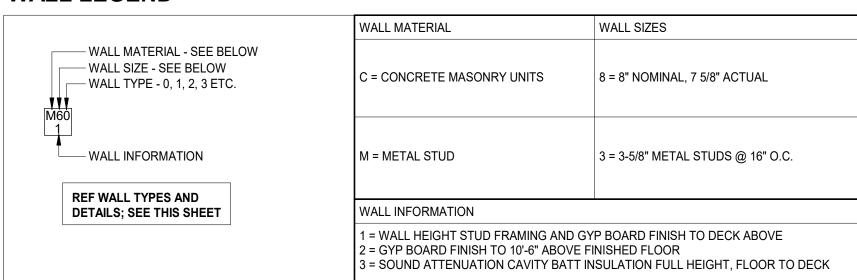
#### MATERIAL INDICATORS

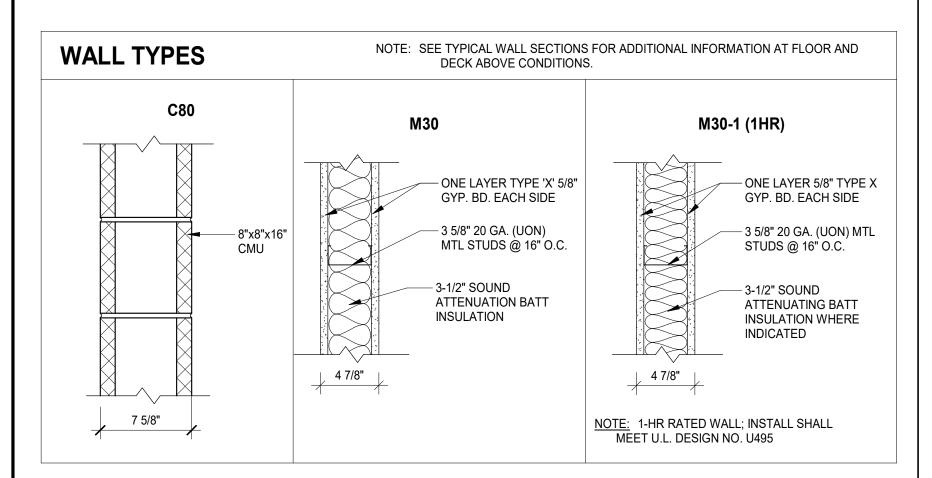
	UNDISTURBED EARTH	STEEL	FINISH WOOD
	GRAVEL OR CRUSHED STONE	RIGID INSULATION	BATT INSULATION
	CAST STONE	BRICK	WOOD FRAMING (CONTINUOUS)
A A A	CONCRETE	PLYWOOD	WOOD BLOCKING (DISCONTIN.)
	CONCRETE MASONRY UNIT	SAND OR GYPSUM BOARD	EXISTING

#### WALL STYLES

	EXISTING BRICK WALL	BRICK WALL	EXISTING WALL REMOVAL
	EXISTING CMU WALL	CMU WALL	
	EXISTING STUD WALL	STUD WALL	

#### WALL LEGEND





#### **ABBREVIATIONS**

		·	
"	INCHES	LLV	LONG LEG VERTICAL
#	NUMBER, POUNDS	LMC	LINEAR METAL CEILING
&	AND	LT	LIGHT
(E) EVOT	FEET EXISTING TO REMAIN	LTL LVR	LINTEL LOUVER
(E), EXST	EXISTING TO BE RELOCATED	LVR	LUXURY VINYL TILE
(EK) (N)	NEW WORK	LVI	LUXURY VINTL TILE
` '	REMOVE	l <sub>M</sub>	
` '	RELOCATED EXISTING	MAX	MAXIMUM
@	AT	MECH	MECHANICAL
Ø, DIA	DIAMETER	MEZZ	MEZZANINE
		MFR	MANUFACTURER
Α		MIN	MINIMUM
A/C	AIR CONDITIONING	MO	MASONRY OPENING
ACP	ACOUSTICAL CEILING PANELS	MTD	MOUNTED
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	MTL	METAL
AFF	ABOVE FINISHED FLOOR	N	
AHJ	AUTHORITY HAVING	N NIC	NOT IN CONTRACT
71110	JURISDICTION	NTS	NOT TO SCALE
AHU	AIR HANDLING UNIT	INIO	NOT TO SOALL
ALT	ALTERNATE	0	
_	ALUMINUM	ОС	ON CENTER
AOR	ARCHITECT OF RECORD	OPP	OPPOSITE
	APPROXIMATE, APPROXIMATELY	OSB	ORIENTED STRAND BOARD
ARCH	ARCHITECT, ARCHITECTURAL		
ATTN	ATTENTION	Р	
В		PCC	PRECAST CONCRETE
B/, BO	BOTTOM OF	PCF	POUNDS PER CUBIC FOOT
BD	BOARD	PL PLF	PLATE POUNDS PER LINEAR FOOT
BLDG	BUILDING	PLM	PLASTIC LAMINATE
BLKG	BLOCKING	PLYWD	PLYWOOD
BTWN	BETWEEN	PMEJ	
		PMF	PRE MOLDED FILLER
C	0.441711 71 77	PP	PLASTIC PANELING
CANT	CANTILEVER	PSF	POUNDS PER SQUARE FOOT
CG	CONTROL JOINT	PSI	POUNDS PER SQUARE INCH
CJ	CONTROL JOINT	PT	PORCELAIN TILE
CL CLG	CENTERLINE CEILING	PTD	PAINTED
CLG	CLEAR	PTWD	(PRESSURE) PRESERVATIVE-TREATED WOOD
CLR	CONSTRUCTION MANAGER		I NESERVATIVE-TREATED WOOD
CMT		Q	
CMU	CONCRETE MASONRY UNIT	QT	QUARRY TILE
COL	COLUMN	QTY	QUANTITY
CONC	CONCRETE		
CONT	CONTINUOUS	R	
CORR	CORRIDOR	R	RISER
CT	CERAMIC TILE	RB	RUBBER BASE
CTB	CERAMIC TILE BASE	RCP	REFLECTED CEILING PLAN
_		RD	ROOF DRAIN
D	DEED	REBAR	REINFORCING BAR
D	DEEP	REINF	REINFORCED, REINFORCING, REINFORCEMENT
DF DIA Ø	DRINKING FOUNTAIN DIAMETER	REQD	REQUIRED
DIM, D	DIMENSION	•	REQUIREMENTS
	DRAWING, DRAWINGS	RESIL	RESILIENT
DWGS		RF	RESILIENT FLOORING
		RM	ROOM
E		RIVI	ROOM
E EA	EACH	KIVI	ROOM
	EACH	RIVI	ROOM
EA			
	EXTERIOR INSULATION FINISH	RO	ROUGH OPENING
EA EIFS	EXTERIOR INSULATION FINISH SYSTEM		
EA EIFS EL	EXTERIOR INSULATION FINISH SYSTEM ELEVATION	RO	ROUGH OPENING
EA EIFS EL	EXTERIOR INSULATION FINISH SYSTEM	RO RTU	ROUGH OPENING
EIFS EL ELEC	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL	RO RTU S	ROUGH OPENING ROOF TOP UNIT
EIFS EL ELEC ELEV	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR	RO RTU S SC	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE
EIFS EL ELEC ELEV EXF EXP	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING	RO RTU S SC SCHED SCL	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER
EIFS EL ELEC ELEV EXF EXP	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION	RO RTU S SC SCHED SCL SF, SQFT	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET
EIFS  EL ELEC ELEV EXF EXP EXP EXP BT EXT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT	RO RTU S SC SCHED SCL SF, SQFT SIM	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR
EA  EIFS  EL  ELEC  ELEV  EXF  EXP  EXP  EXP BT  EXT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR	RO RTU S SC SCHED SCL SF, SQFT SIM SMS	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW
EA  EIFS  EL ELEC ELEV EXF EXP EXP BT EXT  F FCO	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT	RO RTU S SC SCHED SCL SF, SQFT SIM SMS SOG	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND
EA  EIFS  EL ELEC ELEV EXF EXP EXP BT EXT  F FCO FD	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN	RO RTU S SC SCHED SCL SF, SQFT SIM SMS	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES
EA  EIFS  EL  ELEC  ELEV  EXF  EXP  EXP  EXT  F  FCO  FD  FE	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT	RO RTU S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES
EA  EIFS  EL ELEC ELEV EXF EXP EXP BT EXT  F FCO FD	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER	RO RTU S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION
EA  EIFS  EL ELEC ELEV EXF EXP EXP EXT  F FCO FD FE FEC	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET	RO RTU S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE
EA  EIFS  EL ELEC ELEV EXF EXP EXP BT EXT  F FCO FD FE FEC FFE	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SPEC SS SSL SST STC	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS
EA  EIFS  EL ELEC ELEV EXF EXP EXP BT EXT  F FCO FD FE FEC FFE FLG	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FPR FR	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SPEC SS SSL SST STC STD STL	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FPR FR FR FRT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SPEC SS SSL SST STC STD STL STRUCT	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FR FR FR FRT FT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SPEC SS SSL SST STC STD STL	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FPR FR FR FR FT FT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SPEC SS SSL SST STC STD STL STRUCT	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FR FR FR FRT FT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SPEC SS SSL SST STC STD STL STRUCT SYS	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEC FFE FLG FLR FR FR FR FR FT FT FT FTG	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FPR FR FR FR FT FT	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FR FR FR FR FR FR FT FT FT G G	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FR FR FR FR FR FR FT FT G G GA	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FLR FR FR FR FR FT FT FT G G GA GALV	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEC FFE FLG FR FR FR FT FT FT G G G G G G G G G G G G G G G	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F FCO FD FE FEC FFE FLG FR FR FR FR FT FT FT G G G G G G G C G R C G C G C C C C C C	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED CONCRETE	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEC FFE FLG FR FR FR FT FT FT G G G G G G G G G G G G G G G	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP  U	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEC FFE FLG FR FR FR FT FT FT G G G G G G G G W B H	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP U UNO	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FLG FLR FR FRT FT FT G G GALV GC GRC GRC GWB H HB	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TYP U UNO UPH	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE C FFE FLG FR FR FR FT FT FT G G G G G G G G H H H H H H H H H H H	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE	RO RTU  S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP U UNO	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEG FLR FRT FT FT G G G G G G G G G G G H H H H H H H H	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL SST STC STD STL STRUCT SYS  T T T&G TEMP TH TL TYP U UNO UPH	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY
EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEG FLR FRT FT FT G GALV GC GRG GWB  H HB HC HM	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER HOLLOW METAL	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP  U UNO UPH UR	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY
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EA  EIFS  EL ELEC ELEV EXF EXP BT EXT  F CO FD FE FEG FLR FRT FT FT G GALV GC GRG GWB  H HB HC HM	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER HOLLOW METAL HORIZONTAL HIGH PERFORMANCE COATING	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP  U UNO UPH UR  V VAR	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY URINAL
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EA  EIFS  ELEC ELEV EXF EXP BT EXT  F CO FD FE C FFE FLG FR FR FR FT FT FT G G G G G G G G G H H H H H H H H H H	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER HOLLOW METAL HORIZONTAL HIGH PERFORMANCE COATING HOT WATER	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP  U UNO UPH UR  V VAR VB VCT VEST	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY URINAL  VARIES VINYL BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE
EA  EIFS  ELEC ELEV EXF EXP BT EXT  F CO FD FE C FFE FLG FRR FRT FT FT G GALV GC GRG GWB  H HB HORIZ HPC HWD	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER HOLLOW METAL HORIZONTAL HIGH PERFORMANCE COATING HOT WATER HARDWARE	RO RTU  S SC SCHED SCL  SF, SQFT SIM SMS SOG SPCS SPEC SS SSL STC STD STL STRUCT SYS  T T T&G TEMP TH TL TR TYP  U UNO UPH UR  V VAR  VB VCT VEST VIF	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY URINAL  VARIES VINYL BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD
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EA  EIFS  ELEC ELEV EXF EXP BT EXT  F CO FD FE C FFE FLR FRT FT FT G G GALV GC GRG GWB  H HB H H H H H H H H H H H H H H H H	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED CONCRETE GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER HOLLOW METAL HORIZONTAL HIGH PERFORMANCE COATING HOT WATER HARDWARE HOT WATER TANK	RO RTU S SC SCHED SCL SF, SQFT SIM SMS SOG SPCS SPEC SS SSL STC STD STL STRUCT SYS T T T&G TEMP TH TL TYP U UNO UPH UR V VAR VERT VEST VIF VWC	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY URINAL  VARIES VINYL BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD
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EA  EIFS  ELEC  EXF  EXP  EXP  FCO  FD  FC  FC  FC  FC  FC  FC  FC  FC  FC	EXTERIOR INSULATION FINISH SYSTEM ELEVATION ELECTRIC, ELECTRICAL ELEVATOR EPOXY FLOORING EXPANSION EXPANSION BOLT EXTERIOR  FLOOR CLEANOUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR ELEVATION FLOORING FLOOR FIBER REINFORCED PLASTIC FIRE RATED FIRE RETARDANT TREATED FLOOR TILE FIRE TREATED FOOTING  GAUGE GALVANIZED GENERAL CONTRACTOR GLASS-REINFORCED GYPSUM GYPSUM BOARD  HOSE BIBB HOLLOW CORE HEADER HOLLOW METAL HORIZONTAL HIGH PERFORMANCE COATING HOT WATER HARDWARE HOT WATER TANK  INSIDE DIAMETER INCH OF WATER GAUGE INSULATION INTERIOR	RO RTU S SCHED SCL SF, SQFT SIM SMS SOG SPCS SSL STC STD STL STRUCT SYS T T T&G TEMP TH TL TR TYP U UNO UPH UR V VAR VB VCT VEST VIF VWC W W/	ROUGH OPENING ROOF TOP UNIT  SEALED CONCRETE SCHEDULE STRUCTURAL COMPOSITE LUMBER SQUARE FEET SIMILAR SHEET METAL SCREW SLAB ON GRADE / GROUND SPACES SPECIFICATION SOLID SURFACE SHORT SLOTTED STAINLESS STEEL SOUND TRANSMISSION CLASS STANDARD STEEL STRUCTURAL, STRUCTURE SYSTEM  TREAD TONGUE AND GROOVE TEMPORARY THRESHOLD TWIST LOCK TRANSITION TYPICAL  UNLESS NOTED OTHERWISE UPHOLSTERY URINAL  VARIES VINYL BASE VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL WALL COVERING
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WALL TILE

WT

LONG LEG HORIZONTAL

POUNDS LINEAR FEET

LBS

#### **GENERAL NOTES:**

ALL GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL (A-SERIES) DRAWINGS IN THIS SET

- 1. DEFINITIONS: "PROVIDE" MEANS FURNISH AND INSTALL. SUPPLY LABOR AND MATERIALS TO RESULT IN A FINISHED
- AND/OR OPERABLE SYSTEM.
- 2. CONTRACTOR RESPONSIBILITIES: A. MATERIALS, CONSTRUCTION METHODS INCLUDING BUT NOT LIMITED TO LAYOUT, COORDINATION, SCHEDULE AND CONSTRUCTION SITE ACCESS AND WORK.

PROJECT PHASING. COORDINATE WITH OWNER FOR OTHER REQUIREMENTS.

- B. DAILY CLEANING: KEEP SITE FREE FROM WASTE, RUBBISH, AND DEBRIS. REMOVE DAILY. WHEN WORK IS COMPLETE, LEAVE THE PREMISES BROOM CLEAN AND CLEAN FINISHED SURFACES, FIXTURES, GLASS, STOREFRONT, ETC.
- C. FINAL CLEANING. PRIOR TO PUNCHLIST INSPECTION BROOM CLEAN ALL HARD SURFACE FLOORS, VACUUM ALL CARPETING AND WIPE DOWN ALL HORIZONTAL AND GLASS SURFACES PROVIDING A DUST FREE SURFACE.
- D. TEMPORARY PROTECTION IS REQUIRED TO MAINTAIN ONGOING BUILDING OPERATIONS, EXITING PATHS, DUST CONTROL AND OCCUPANT SAFETY. IDENTIFY THE REQUIREMENTS FOR TEMPORARY PROTECTION AND
- E. COORDINATE STARTUP AND ADJUSTING OF EQUIPMENT AND OPERATING COMPONENTS. START EQUIPMENT AND OPERATING COMPONENTS AND TEST TO CONFIRM PROPER OPERATION AND CONTROL. REMOVE MALFUNCTIONING UNITS, REPLACE WITH NEW UNITS, AND RETEST.
- F. CLOSEOUT DOCUMENTS, CERTIFICATE OF RELEASE FROM THE AUTHORITY OF JURISDICTION AND INSURANCE FOR CONTINUING COVERAGE, WARRANTIES, TEST & INSPECTION RESULTS AND OPERATION, EMERGENCY & MAINTENANCE MANUALS. ALL METAL STUD CROSS BRACING IS CONSIDERED DELEGATED DESIGN AND IS THE RESPONSIBILITY OF THE TRADE CONTRACTOR TO PROVIDE SEALED ENGINEERING DRAWINGS.
- 3. EXISTING CONDITIONS: REVIEW EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

#### 4. CONTRACT DOCUMENTS:

- A. PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES ARE COMPLEMENTARY. PLAN DRAWINGS WILL TAKE PRECEDENCE OVER ELEVATION, SECTION AND DETAILS DRAWINGS IN ANY CONFLICTS OF HORIZONTAL DIMENSIONS. DETAIL PLAN DRAWINGS WILL TAKE PRECEDENCE OVER LARGER SCALE PLANS IN ANY CONFLICTS WITH HORIZONTAL DIMENSIONS. WALL AND BUILDING SECTIONS WILL TAKE PRECEDENCE OVER PLAN DRAWING AND DETAILS IN ANY CONFLICTS WITH VERTICAL DIMENSIONS. DETAILS AND WALL SECTIONS WILL TAKE PRECEDENCE OVER ELEVATION AND PLAN DRAWINGS IN ANY CONFLICTS WITH MATERIAL DESCRIPTION. SCHEDULES WILL TAKE PRECEDENCE OVER OTHER ARCHITECTURAL DRAWINGS IN AND CONFLICTS WITH WALL, FLOOR AND CEILING FINISHES AND DOOR, DOOR HARDWARE AND FENESTRATION
- B. DRAWINGS PREPARED BY THE ARCHITECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND, UNLESS OTHERWISE PROVIDED, BERGMANN SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS,
- C. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.

#### FIELD CONDITIONS

- REPAIR: EXISTING SURFACES TO REMAIN IMPACTED BY DEMOLITION TO MATCH EXISTING ADJACENT SURFACES.
- 2. DISCREPANCIES: NOTIFY ARCHITECT OF EXISTING DAMAGED OR DETERIORATED BUILDING ELEMENTS REVEALED DURING DEMOLITION OR CONSTRUCTION PRIOR TO PROCEEDING WITH ADDITIONAL WORK IN THE AREA.
- 3. HAZARDOUS MATERIALS: A PRE-DEMOLITION ASBESTOS SURVEY IS REQUIRED PRIOR TO DEMOLITION OF SUSPECT BUILDING MATERIALS IN ACCORDANCE WITH OSHA 29 DFR 1926.1101, AND USEPA 40 CRF 61.145. A PRE-DEMOLITION ASBESTOS SURVEY IS NOT REQUIRED PER 12 NYCRR 56 FOR BUILDINGS OR STRUCTURES FOR WHICH THE ORIGINAL CONSTRUCTION COMMENCED ON OR AFTER JANUARY 1, 1974. THERMAL SYSTEM INSULATIONS AND SURFACING MATERIALS FOUND IN BUILDINGS CONSTRUCTED NO LATER THAN 1980 SHALL BE CONSIDERED PRESUMED ASBESTOS CONTAINING MATERIALS (PACM) UNLESS PROVEN OTHERWISE BY APPROPRIATE BULK SAMPLING AND LABORATORY ANALYSIS CONDUCTED BY APPROVED LICENSED PERSONNEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL REGULATIONS. THE LANDLORD SHALL PROVIDE COPIES OF ANY ASBESTOS SURVEYS THEY HAVE ON FILE AT THE REQUEST OF THE CONTRACTOR.
- 4. SAFETY: FOLLOW THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) 29 CFR 1926.62, LEAD EXPOSURE IN CONSTRUCTION REGULATION. MATERIALS HAVING A CONCENTRATION EQUAL OR GREATER THAN 0.5% BY WEIGHT IN LEAD ARE CONSIDERED TO BE LEAD BASED. HOWEVER, OSHA CONSIDERS ANY AMOUNT OF LEAD ENCOUNTERED DURING CONSTRUCTION TO BE OF CONCERN. THE REGULATION STATES THAT THE EMPLOYER SHALL ASSURE THAT NO EMPLOYEE IS EXPOSED TO LEAD AT CONCENTRATIONS GREATER THAN FIFTY MICROGRAMS PER CUBIC METER OF AIR (50 MG/M^3) AVERAGED OVER AN 8-HOUR PERIOD. CONTRACTORS SHALL DETERMINE AND TAKE APPROPRIATE MEASURES IF THEY SUSPECT THE PRESENCE OF LEAD.

#### <u>FINISHES</u>

- A. GENERAL: FINISHED FLOORS EXTEND INTO TOE SPACES, UNDER CASEWORK ON LAB PROJECTS, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- A. INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.N.O.
- B. PAINT DESIGNATIONS INDICATE COLOR ONLY, REFER TO SPECIFICATION FOR FINISH TYPE. C. PROVIDE SELF LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH
- MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
- D. PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION.

#### C. EXECUTION:

- A. ADHERE TO MATERIAL OR SYSTEM MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND TOLERANCES. ANY VARIATIONS FROM WRITTEN INSTALLATION AND INSTRUCTIONS MUST RECEIVE WRITTEN APPROVAL FROM THE MANUFACTURER AND MAINTAIN MANUFACTURER'S WARRANTIES.
- B. PRIOR TO STARTING THE INSTALLATION OF A MATERIAL OR SYSTEM, VERIFY THE SUBSTRATE IS WITHIN THE MANUFACTURER'S REQUIRED TOLERANCES AND REQUIRED CLEARANCES ARE PROVIDED. NOTIFY THE CONSTRUCTION MANAGER OR GENERAL CONTRACTOR AND DEIGN PROFESSIONAL IN WRITING WHEN THE SUBSTRATE IS NOT WITHIN MANUFACTURER'S TOLERANCE OR REQUIRED CLEARANCES ARE NOT PROVIDED. PROCEEDING WITH INSTALLATION SIGNIFIES ACCEPTANCE OF THE SUBSTRATE AND CLEARANCES.
- C. PROVIDE MANUFACTURER'S REQUIRED ENVIRONMENTAL TESTS FOR MOISTURE, VAPOR DRIVE, RELATIVE HUMIDITY AND TEMPERATURE TO VERIFY THESE ARE WITHIN THE MATERIAL MANUFACTURER'S TOLERANCE PRIOR TO INSTALLING MATERIALS.
- D. MATERIAL AND INSTALLATION SHALL CONFORM WITH LOCAL, STATE AND NATIONAL BUILDING CODES AND
- CONSTRUCTION STANDARDS ENFORCED BY THE AUTHORITY HAVING JURISDICTION. E. REQUIRED DOCUMENTATION:
- SAFETY DATA SHEETS. PROVIDE SAMPLES WHEN SPECIFICALLY REQUESTED IN THESE DOCUMENTS PROVIDE SHOP DRAWINGS OF MATERIALS AND SYSTEMS, WHICH WILL BE BUILT INTO AND MUST BE COORDINATED WITH OTHER CONSTRUCTION. SHOP DRAWINGS SHALL CONSIST OF PLAN, ELEVATION, SECTION VIEWS AND DETAILS AS REQUIRED TO COMMUNICATE FINAL APPEARANCE AND CONNECTION TO ADJOINING CONSTRUCTION.
- F. PROTECT ADJACENT SURFACES DURING WORK.
- G. REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- H. FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER.
- I. DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS TO BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- J. EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- K. WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- L. WHEN INSTALLING CARPET FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION AND MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
- M. WHEN INSTALLING TILE FOLLOW THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS AND MANUFACTURERS WRITTEN INSTALLATION INSTRUCTIONS.
- N. CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- O. FLOOR MATERIAL TRANSITIONS SHALL OCCUR BELOW THE DOOR.

#### WALLS

- A. DIMENSIONS: a. STUD WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE INDICATED IN A.c. OR A.d. BELOW.
- b. MASONRY WALLS ARE TO FACE OF MASONRY.
- c. EXISTING CONSTRUCTION ARE TO FINISHED FACE OF CONSTRUCTION.
- WHERE NOTED AS "CLR" DIMENSIONS ARE TO FINISHED SURFACE AND ARE CRITICAL FOR ACCESSIBILITY REQUIREMENTS OR BUILT-IN FURNISHINGS.

#### a. WALLS NOT INDICATED WITH A WALL TYPE SHALL BE TYPE M30.

- b. COLUMN ENCLOSURES, CHASES AND ENCLOSED UNINHABITABLE SPACES SHALL BE WALL TYPE M31, UNLESS NOTED
- c. BRACING: PROVIDE CHANNEL COLD ROLLED STEEL (CRSS) BRACING AT ALL METAL STUD WALLS. INSTALL TWO ROWS OF BRACING 4'-0" O.C. FOR WALLS UP TO 13'-0" HIGH.
- d. PROVIDE (2) #10-7/16" HEX HEAD SHEET METAL SCREWS AT EACH STUD/TRACK CONNECTION AT ALL WALLS, BULK HEADS & SOFFITS NOT EXTENDING FLOOR TO DECK.
- e. PROVIDE DEFLECTION TRACK OR CLIP AT TOP OF METAL STUD WALLS THAT EXTEND TO THE UNDERSIDE OF STRUCTURAL MEMBERS OR FLOOR/ ROOF DECK.
- f. METAL STUD WALLS IN WHICH STUDS DO NOT EXTEND TO DECK ABOVE SHALL BE LATERALLY BRACED AT 45 DEGREES TO THE STRUCTURE ABOVE WITH 3 5/8" x 20 GA. STUDS @ 48" O.C. MAX., AND AT ENDS OF SUCH WALLS WHICH DO NOT INTERSECT OTHER WALLS.
- g. PROVIDE FULL HEIGHT DOUBLE STUDS AT DOOR AND WINDOW JAMBS.
- h. FIRE-RESISTANT JOINT SYSTEMS: AT FIRE-RESISTANT RATED WALLS, FLOORS OR FLOOR/CEILING ASSEMBLIES, AND ROOFS OR ROOF/CEILING ASSEMBLIES, PROVIDE AN APPROVED TESTED JOINT ASSEMBLY PROVIDING THE MINIMUM TIME AND TEMPERATURE RISE AT THE WALL, FLOOR, OR ROOF SUITABLE FOR THE CONSTRUCTION WHERE THE SYSTEM IS TO BE INSTALLED.
- i. THE BOTTOM EDGE OF GYPSUM WALL BOARD SHALL BE INSTALLED 3/8" ABOVE THE FLOOR AND SEALED AS NOTED IN WALL TYPES.

- a. SMOKE WALLS AND SMOKE BARRIERS: SMOKE WALLS AND SMOKE BARRIERS MUST FORM A COMPLETE BARRIER TO LIMIT THE TRANSFER OF SMOKE, INCLUDING PERIMETER DETAILS, PENETRATIONS, AND AS REQUIRED BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES. THE MEMBRANE IS TO BE CONTINUOUS THROUGH ALL CONCEALED
- 1. RECESSED CABINETS, OUTLET BOXES, AND OTHER PENETRATIONS MUST BE SEALED
- 2. OPENINGS AROUND PENETRATIONS ARE TO BE SEALED.
- 3. ALL EXPOSED JOINTS, ANGLES, AND ABUTMENTS IN THE SYSTEM, INCLUDING FLOOR AND ABOVE CEILING MUST BE TAPED AND FINISHED.
- 4. SEAL THE INTERFACE BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES.
- b. FIRE WALLS AND FIRE BARRIERS: FIRE WALLS AND FIRE BARRIERS MUST BE SIMILARLY CONSTRUCTED AS A COMPLETE BARRIER TO RESIST THE SPREAD OF SMOKE AND FIRE. PENETRATIONS MUST BE SEALED AND LABELED WITH AN APPROVED FIRE RESISTANT JOINT SYSTEM. INSTALL A FIRE RESISTANT JOINT SYSTEM AT THE HEAD AND FLOOR CONDITION OF FIRE RATED WALLS AND BARRIERS.

#### c. FIRE AND SMOKE WALL / BARRIER / WALLS LABELING:

- 1. WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL:
- A. BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
- B. INCLUDE LETTERING NOT LESS THAN 3 INCHES (76 MM) IN HEIGHT WITH A MINIMUM 3/8-INCH (9.5 MM) STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER -PROTECT ALL OPENEINGS," OR OTHER WORDING.
- d. ACOUSTICAL WALLS: WALLS INDICATED WITH ACOUSTICAL BATT, AND/OR A GIVEN AN STC RATING, SHALL BE CONSTRUCTED TO MINIMIZE SOUND TRANSMISSION AS FOLLOWS:
- 1. PROVIDE ACOUSTICAL SEALANT AT ALL FLOOR AND HEAD LEVELS, EACH SIDE OF THE WALLS.
- 2. SET TRACK IN 3 CONTINUOUS BEADS OF ACOUSTICAL SEALANT
- 3. EXTEND SOUND BATTS THOROUGH ANY INTERSECTING WALLS
- 4. STAGGER OUTLETS A MINIMUM OF 24 INCHES HORIZONTAL. DO NOT INSTALL MORE THAN ONE OUTLET IN A COMMON STUD CAVITY. SEAL JOINTS AROUND OUTLETS WITH ACOUSTICAL SEALANT.

#### D. GYPSUM BOARD WALL COMPONENTS AND ACCESSORIES:

- a. WALL TYPES DO NOT INDICATE FINAL FINISHES. REFER TO FINISH PLANS AND FINISH SCHEDULE.
- b. GYPSUM BOARD SHALL BE TYPE "X" FIRE RATED WITH:
- 1. LEVEL 1 FINISH AT JOINTS WHICH WILL REMAIN CONCEALED. PROVIDE GALVANIZED STEEL CORNER BEADS AT
- 2. LEVEL 3 FINISH WHERE WALLS EXPOSED TO VIEW SCHEDULED FOR PAINT IN SERVICE SPACES (eq. TELE / DATA CLOSETS, MECHANICAL ROOMS, JANITOR CLOSETS, STORAGE ROOMS).
- 3. LEVEL 4 FINISH WHERE EXPOSED TO VIEW UPON PROJECT COMPLETION U.N.O.
- 4. LEVEL 5 FINISH AT GRAPHIC CORRIDOR, AS WELL AS DRY ERASE AND CHALK BOARD PAINTED AREAS. REFER TO FINISH LOCATION ON PLANS, AND COORDINATE WITH DESIGNER IN THE FIELD.
- c. PROVIDE MOISTURE/ MOLD / ABUSE RESISTANT GYPSUM BOARD AT WALLS IN TOILET ROOMS, JANITORS CLOSETS AND ANY ROOM WHERE MOISTURE CONDITIONS WILL OCCUR AND NOT RECEIVING TILE FINISH.
- PROVIDE GLASS MATT GYPSUM BOARD AT WALLS DIRECTLY ADJACENT TO LIVING WALL ELEMENT AND AT ALL WET AREAS (SHOWER ROOMS, COMMUNAL KITCHEN/DISHWASHER, ETC.) GLASS MAT GYPSUM BOARD SHALL RECEIVE FIBERGLASS TAPE AND FINISH AS RECOMMENDED BY MANUFACTURER.
- e. METAL TRIM:
- 1. EXPOSED METAL J-TRIM TO BE COMPLETELY COVERED WITH SKIM COAT
- 2. NON-METALIC J-TRIM OR OTHER SHAPES ARE NOT ACCEPTABLE, UNLESS OTHERWISE NOTED
- f. LOCATIONS WHERE GYPSUM BOARD WALLS TERMINATE AT DISSIMILAR MATERIALS, PROVIDE A FINISH-ABLE METAL END TRIM AND A 1/4" GAP BETWEEN TRIM AND ADJACENT MATERIAL. FILL GAP WITH BACKER ROD AND SEALANT.
- PROVIDE SOLID FIRE TREATED WOOD BLOCKING IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO SUPPORT WALL MOUNTED MILLWORK AND CASEWORK, FURNISHINGS, RAILINGS, GRAB BARS, TOILET & BATH ACCESSORIES OR ANY OTHER WALL MOUNTED ITEMS INDICATED ON THESE DRAWINGS REQUIRING BLOCKING. REFER TO DIAGRAMS ON DRAWING A-### FOR MOUNTING LOCATIONS OF GRAB BARS.
- h. PROVIDE PAPER FACED "L" SHAPED TAPE ON TRIM AT THE TOP OF ALL GYP. BD. THAT ABUTS SUSPENDED CEILINGS AND EXPOSED STRUCTURE.

a. PROVIDE IN GYPSUM WALL BOARD CONSTRUCTION AS FOLLOWS:

- PROVIDE CONTROL JOINTS IN EXPANSES OF WALLS AT MAXIMUM 25-FOOT INTERVALS, AND FULL HEIGHT. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO TOP OF WALL.
- 2. CONTROL JOINTS ARE REQUIRED IN CEILINGS TO LIMIT AREAS TO 2,500 SQUARE FEET. INSTALL CONTROL JOINTS IN CEILINGS TO LIMIT DIMENSIONS IN EITHER DIRECTION TO 50 FEET MAXIMUM WITH PERIMETER RELIEF, 30 FEET MAXIMUM OTHERWISE. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
- 3. PROVIDE CONTROL JOINTS IN GYPSUM WALL BOARD WHERE THE UNDERLYING STRUCTURE CONTAINS A CONTROL OR MOVEMENT JOINT.
- 4. IN AN ACOUSTICALLY RATED ASSEMBLY, PROVIDE ACOUSTICALLY TESTED CONTROL JOINT ASSEMBLY WITH A STC RATING MINIMALLY EQUAL TO THE WALLS STC RATING. COORDINATE REQUIRED LOCATIONS ON FEATURE WALLS WITH DESIGNER IN THE FIELD. METAL TRIM: EXPOSED METAL OR NON-METALLIC J-MOLD IS NOT ACCEPTABLE.
- 5. PROVIDE CONTROL JOINTS AT ALL BUILDING CONTROL OR EXPANSION JOINTS



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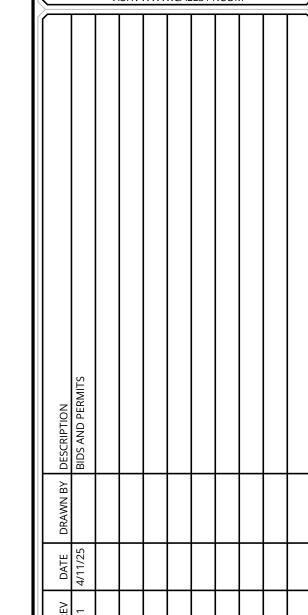
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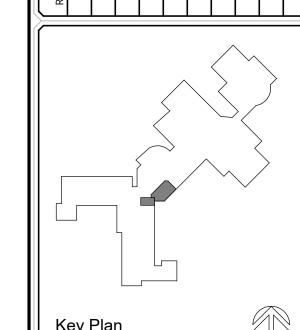
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DRAWING NAME:

AND LEGENDS

GENERAL NOTES

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

ROIECT NUMBER:

- A. AT THE EARLIEST PRACTICAL DATE AFTER AWARD OF THE CONTRACT, ADVISE ARCHITECT OF THE DATE WHEN FINAL SELECTION, OR PURCHASE AND DELIVERY, OF EACH PRODUCT OR SYSTEM DESCRIBED BY AN ALLOWANCE MUST BE COMPLETED BY THE OWNER TO AVOID DELAYING THE WORK.
- B. OBTAIN PROPOSALS FOR EACH ALLOWANCE FOR USE IN MAKING FINAL SELECTIONS. INCLUDE RECOMMENDATIONS THAT ARE RELEVANT TO PERFORMING
- C. SUBMIT PROPOSALS FOR PURCHASE OF PRODUCTS OR SYSTEMS INCLUDED IN ALLOWANCES IN THE FORM SPECIFIED FOR CHANGE ORDERS. THIS ALLOWANCE INCLUDES MATERIAL COST, RECEIVING, HANDLING, AND INSTALLATION AND CONTRACTOR OVERHEAD AND PROFIT.
- D. COORDINATE QUANTITY ALLOWANCE ADJUSTMENT WITH CORRESPONDING UNIT-PRICE REQUIREMENTS "UNIT PRICES." . QUANTITY ALLOWANCE NO.1: INCLUDE XXXX (SF-LF-CY) OF XXXXXXXXXXXXXXXXX INSTALLED.
- 2. QUANTITY ALLOWANCE NO.2: INCLUDE XXXX (SF-LF-CY) OF XXXXXXXXXXXXXXXXXX INSTALLED.

### E. CONTINGENCY ALLOWANCE: INCLUDE A CONTINGENCY ALLOWANCE OF \$X,XXX.00 FOR USE ACCORDING TO OWNER'S WRITTEN INSTRUCTIONS.

- A. UNIT PRICE IS AN AMOUNT INCORPORATED INTO THE AGREEMENT, APPLICABLE DURING THE DURATION OF THE WORK AS A PRICE PER UNIT OF MEASUREMENT FOR MATERIALS, EQUIPMENT, OR SERVICES, OR A PORTION OF THE WORK, ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BY APPROPRIATE MODIFICATION, IF THE SCOPE OF WORK OR ESTIMATED QUANTITIES OF WORK REQUIRED BY THE CONTRACT DOCUMENTS ARE INCREASED
- B. UNIT PRICES INCLUDE ALL NECESSARY MATERIAL, PLUS COST FOR DELIVERY, INSTALLATION, INSURANCE, APPLICABLE TAXES, OVERHEAD, AND PROFIT.
- C. MEASUREMENT AND PAYMENT: SEE QUANTITY ALLOWANCE FOR WORK THAT REQUIRES ESTABLISHMENT OF UNIT PRICES. UNITS OF MEASUREMENT AND PAYMENT FOR UNIT PRICES ARE LISTED IN THAT SECTIONS.
- D. OWNER RESERVES THE RIGHT TO REJECT CONTRACTOR'S MEASUREMENT OF WORK-IN-PLACE THAT INVOLVES USE OF ESTABLISHED UNIT PRICES AND TO HAVE THIS WORK MEASURED, AT OWNER'S EXPENSE, BY AN INDEPENDENT SURVEYOR ACCEPTABLE TO CONTRACTOR.
- E. UNIT PRICE NO. 1 QUANTITY ALLOWANCE NO. 1: PROVIDE COST PER UNIT LISTED FOR ADDING TO OR DEDUCTING FROM THE CONTRACT AMOUNT.
- F. UNIT PRICE NO. 2 QUANTITY ALLOWANCE NO. 2: PROVIDE COST PER UNIT LISTED FOR ADDING TO OR DEDUCTING FROM THE CONTRACT AMOUNT.

- A. ALTERNATE: AN AMOUNT PROPOSED BY BIDDERS AND STATED ON THE BID FORM FOR CERTAIN WORK DEFINED IN THE BIDDING REQUIREMENTS THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF THE OWNER DECIDES TO ACCEPT A CORRESPONDING CHANGE EITHER IN THE AMOUNT OF CONSTRUCTION TO BE COMPLETED OR IN THE PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT
- B. INCLUDE AS PART OF EACH ALTERNATE, MISCELLANEOUS DEVICES, ACCESSORY OBJECTS, AND SIMILAR ITEMS INCIDENTAL TO OR REQUIRED FOR A COMPLETE INSTALLATION WHETHER INDICATED AS PART OF ALTERNATE. EXECUTE ACCEPTED ALTERNATES UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.
- C. PROVIDE ALTERNATE PRICING AS FOLLOWS:
- 1. ALTERNATE NO 1: BASE BID, (DESCRIBE MATERIAL OR SYSTEM). ALTERNATE BID, (DESCRIBE MATERIAL OR SYSTEM) 2. ALTERNATE NO 2: BASE BID, (DESCRIBE MATERIAL OR SYSTEM). ALTERNATE BID, (DESCRIBE MATERIAL OR SYSTEM)

#### SUBSTITUTION PROCEDURES:

- A. SUBSTITUTIONS FOR CAUSE: CHANGES PROPOSED BY CONTRACTOR THAT ARE REQUIRED DUE TO CHANGED PROJECT CONDITIONS, SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS.
- B. SUBSTITUTIONS FOR CONVENIENCE: CHANGES PROPOSED BY CONTRACTOR OR OWNER THAT ARE NOT REQUIRED IN ORDER TO MEET OTHER PROJECT REQUIREMENTS BUT MAY OFFER ADVANTAGE TO CONTRACTOR OR OWNER. SUBSTITUTIONS FOR CONVENIENCE ARE ALLOWED ONLY BY APPROVAL OF THE OWNER OR OWNER'S AGENT.
- C. SUBMIT REQUEST FOR CONSIDERATION. IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED. INCLUDE PRODUCT, MATERIAL OR SYSTEM NAME AND AFFECTED DRAWING NUMBERS AND TITLES.
- D. EXECUTE ACCEPTED SUBSTITUTIONS UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT
- E. DOCUMENTATION: SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS AND THE FOLLOWING, AS APPLICABLE: 1. COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.

SPECIFIC FEATURES AND REQUIREMENTS INDICATED. INDICATE DEVIATIONS, IF ANY, FROM THE WORK SPECIFIED

- 2. CONTRACTOR'S CERTIFICATION THAT PROPOSED SUBSTITUTION COMPLIES WITH REQUIREMENTS IN THE CONTRACT DOCUMENTS, EXCEPT AS
- STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION, OR INSTALLATION METHOD CANNOT BE PROVIDED, IF APPLICABLE.

PERFORMED BY OWNER AND SEPARATE CONTRACTORS THAT WILL BE NECESSARY TO ACCOMMODATE PROPOSED SUBSTITUTION.

4. COORDINATION OF INFORMATION, INCLUDING A LIST OF CHANGES OR REVISIONS NEEDED TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION

INDICATED IN SUBSTITUTION REQUEST, IS COMPATIBLE WITH RELATED MATERIALS AND IS APPROPRIATE FOR APPLICATIONS INDICATED.

- 5. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES. INCLUDE DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF PROPOSED SUBSTITUTIONS WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES MAY INCLUDE ATTRIBUTES, SUCH AS PERFORMANCE, WEIGHT, SIZE, DURABILITY, VISUAL EFFECT, SUSTAINABLE DESIGN CHARACTERISTICS, WARRANTIES, AND
- 6. CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF FAILURE OF PROPOSED SUBSTITUTION TO PRODUCE INDICATED RESULTS.
- F. ARCHITECT'S ACTION: IF NECESSARY, ARCHITECT WILL REQUEST ADDITIONAL INFORMATION OR DOCUMENTATION FOR EVALUATION WITHIN 7 DAYS OF RECEIPT OF A REQUEST FOR SUBSTITUTION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTANCE OR REJECTION OF PROPOSED SUBSTITUTION WITHIN 14 DAYS OF RECEIPT OF REQUEST, OR 7 DAYS OF RECEIPT OF ADDITIONAL INFORMATION OR DOCUMENTATION.
- G. ARCHITECT WILL CONSIDER CONTRACTOR'S REQUEST FOR SUBSTITUTION WHEN THE LISTED REQUIREMENTS ARE SATISFIED. IF THE LISTED REQUIREMENTS ARE NOT SATISFIED, ARCHITECT WILL RETURN REQUESTS WITHOUT ACTION, EXCEPT TO RECORD NONCOMPLIANCE WITH LISTED
- H. FORMS OF ACCEPTANCE: CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS FOR MINOR CHANGES IN

#### SUBMITTAL REQUIREMENTS:

- A. PREPARE SUBMITTAL SCHEDULE: SUBMIT, AS AN ACTION SUBMITTAL, A LIST OF SUBMITTALS, ARRANGED IN CHRONOLOGICAL ORDER BY DATES REQUIRED BY CONSTRUCTION SCHEDULE. INCLUDE TIME REQUIRED FOR REVIEW, ORDERING, MANUFACTURING, FABRICATION, AND DELIVERY WHEN ESTABLISHING DATES. INCLUDE ADDITIONAL TIME REQUIRED FOR MAKING CORRECTIONS OR REVISIONS TO SUBMITTALS NOTED BY ARCHITECT AND CONTRACTOR OR CONSTRUCTION MANAGER AND ADDITIONAL TIME FOR HANDLING AND REVIEWING SUBMITTALS REQUIRED BY THOSE CORRECTIONS.
- B. PREPARE AND SUBMIT SUBMITTALS AS INCLUDED IN THE SUBMITTAL SCHEDULED.
- C. EMAIL: PREPARE SUBMITTALS AS PDF PACKAGE AND TRANSMIT TO ARCHITECT BY SENDING VIA EMAIL. INCLUDE PDF TRANSMITTAL FORM. INCLUDE INFORMATION IN EMAIL SUBJECT LINE AS REQUESTED BY ARCHITECT.
- D. WEB-BASED PROJECT MANAGEMENT SOFTWARE: PREPARE SUBMITTALS IN PDF FORM, AND UPLOAD TO WEB-BASED PROJECT MANAGEMENT SOFTWARE WEBSITE. ENTER REQUIRED DATA IN WEB-BASED SOFTWARE SITE TO FULLY IDENTIFY SUBMITTAL.
- E. ACTION SUBMITTALS AND INFORMATIONAL SUBMITTALS: REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT.
- F. USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S AND CONTRACTOR'S OR CONSTRUCTION MANAGER'S ACTION STAMP.
- G. SUBMITTAL INFORMATION: INCLUDE THE FOLLOWING INFORMATION IN EACH SUBMITTAL: 1. PROJECT NAME, DATE AND INDICATION OF FULL OR PARTIAL SUBMITTAL.
- 2. ARCHITECT'S AND CONTRACTOR'S AND/OR CONSTRUCTION MANAGER'S, FIRM OR ENTITY THAT PREPARED SUBMITTAL AND SUBCONTRACTOR, MANUFACTURER, AND SUPPLIER NAMES.
- 3. NUMBER AND TITLE OF SPECIFICATION SECTION, WITH PARAGRAPH NUMBER AND GENERIC NAME FOR EACH OF MULTIPLE ITEMS
- 4. MATERIAL OR SYSTEM NAME AND DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE.
- 5. IDENTIFY OPTIONS REQUIRING SELECTION BY ARCHITECT.
- 6. LOCATION(S) WHERE PRODUCT IS TO BE INSTALLED, AS APPROPRIATE AND OTHER NECESSARY INFORMATION.
- 7. ON EACH SUBMITTAL, CLEARLY INDICATE DEVIATIONS FROM REQUIREMENTS IN THE CONTRACT DOCUMENTS, INCLUDING MINOR VARIATIONS AND LIMITATIONS: INCLUDE RELEVANT ADDITIONAL INFORMATION AND REVISIONS, OTHER THAN THOSE REQUESTED BY ARCHITECT AND CONTRACTOR OR CONSTRUCTION MANAGER ON PREVIOUS SUBMITTALS. INDICATE BY HIGHLIGHTING ON EACH SUBMITTAL OR NOTING ON ATTACHED SEPARATE SHEET
- H. INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR RESUBMITTAL WITHOUT REVIEW.
- I. ARCHITECT'S ACTION: ARCHITECT WILL REVIEW INFORMATION OR DOCUMENTATION NOTIFY CONTRACTOR OF ACCEPTANCE REQUEST FOR MORE INFORMATION OR REJECTION WITHIN 14 DAYS OF RECEIPT. ARCHITECT WILL REVIEW RESUBMITTAL WITHIN 7 DAYS OF RECEIPT.
- J. SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS WILL BE RETURNED BY ARCHITECT WITHOUT ACTION.

#### QUALITY REQUIREMENTS:

- A. CONFLICTING STANDARDS AND OTHER REQUIREMENTS: IF COMPLIANCE WITH TWO OR MORE STANDARDS OR REQUIREMENTS IS SPECIFIED AND THE STANDARDS OR REQUIREMENTS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, INFORM THE ARCHITECT REGARDING THE CONFLICT AND OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. REFER CONFLICTING REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
- B. PREPARE AND SUBMIT CERTIFIED WRITTEN REPORTS REQUIRED. INCLUDE THE FOLLOWING:
- 1. PROJECT TITLE AND NUMBER AND DATE OF ISSUE. RECORD OF TEMPERATURE AND WEATHER CONDITIONS AT TIME OF SAMPLE TAKING AND TESTING AND INSPECTION. NAME AND SIGNATURE OF LABORATORY INSPECTOR.
- 2. NAME, ADDRESS, TELEPHONE NUMBER, AND EMAIL ADDRESS OF TESTING AGENCY
- 3. DATES AND LOCATIONS OF SAMPLES AND TESTS OR INSPECTIONS.
- 4. TEST AND INSPECTION RESULTS AND AN INTERPRETATION OF TEST RESULTS. COMMENTS OR PROFESSIONAL OPINION ON WHETHER TESTED OR INSPECTED WORK COMPLIES WITH THE CONTRACT DOCUMENT REQUIREMENTS. RECOMMENDATIONS ON RETESTING AND REINSPECTING.
- C. MANUFACTURER QUALIFICATIONS: A FIRM EXPERIENCED IN MANUFACTURING PRODUCTS OR SYSTEMS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS. AS APPLICABLE, PROCURE PRODUCTS FROM MANUFACTURERS ABLE TO MEET QUALIFICATION REQUIREMENTS, WARRANTY REQUIREMENTS, AND TECHNICAL OR FACTORY-AUTHORIZED SERVICE REPRESENTATIVE REQUIREMENTS.
- D. FABRICATOR QUALIFICATIONS: A FIRM EXPERIENCED IN PRODUCING PRODUCTS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS.
- E. INSTALLER QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN INSTALLING, ERECTING, APPLYING, OR ASSEMBLING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
- F. TESTING AND INSPECTING AGENCY QUALIFICATIONS: AN NRTL, AN NVLAP, OR AN INDEPENDENT AGENCY WITH THE EXPERIENCE AND CAPABILITY TO CONDUCT TESTING AND INSPECTION INDICATED, AS DOCUMENTED ACCORDING TO [ASTM E329] <INSERT STANDARD>; AND WITH ADDITIONAL QUALIFICATIONS REQUIRED BY THE CONSTRUCTION DOCUMENTS; AND, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION, THAT IS ACCEPTABLE TO AUTHORITIES.
- G. PRECONSTRUCTION TESTING: WHERE TESTING AGENCY IS INDICATED TO PERFORM PRECONSTRUCTION TESTING FOR COMPLIANCE WITH SPECIFIED REQUIREMENTS FOR PERFORMANCE AND TEST METHODS, COMPLY WITH THE FOLLOWING:
- 1. CONTRACTOR RESPONSIBILITIES INCLUDE THE FOLLOWING: PROVIDE TEST SPECIMENS REPRESENTATIVE OF PROPOSED PRODUCTS AND CONSTRUCTION. SUBMIT SPECIMENS IN A TIMELY MANNER WITH SUFFICIENT TIME FOR TESTING AND ANALYZING RESULTS TO PREVENT DELAYING THE WORK. WHEN TESTING IS COMPLETE, REMOVE TEST SPECIMENS AND TEST ASSEMBLIES, AND MOCKUPS UNLESS NOTED OTHERWISE; DO NOT REUSE PRODUCTS ON PROJECT.
- TESTING AGENCY RESPONSIBILITIES: SUBMIT A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-ASSURANCE SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM THE CONTRACT DOCUMENTS.
- H. MOCKUPS: BEFORE INSTALLING PORTIONS OF THE WORK REQUIRING MOCKUPS, BUILD MOCKUPS FOR EACH FORM OF CONSTRUCTION AND FINISH REQUIRED TO COMPLY WITH THE FOLLOWING REQUIREMENTS, USING MATERIALS INDICATED FOR THE COMPLETED WORK, TO SIZE AND LOCATION INDICATED. DEMONSTRATE THE PROPOSED RANGE OF AESTHETIC EFFECTS AND WORKMANSHIP. NOTIFY ARCHITECT, CONTRACTOR AND CONSTRUCTION MANAGER 7 DAYS IN ADVANCE OF DATES AND TIMES WHEN MOCKUPS WILL BE CONSTRUCTED AND ALLOW 7 DAYS FOR REVIEW AND APPROVAL. OBTAIN THE APPROVAL FROM ARCHITECT, CONTRACTOR AND CONSTRUCTION MANAGER BEFORE STARTING CORRESPONDING WORK, FABRICATION, OR CONSTRUCTION. MAINTAIN MOCKUPS DURING CONSTRUCTION IN AN UNDISTURBED CONDITION AS A STANDARD FOR JUDGING THE COMPLETED WORK. DEMOLISH AND REMOVE MOCKUPS WHEN DIRECTED UNLESS OTHERWISE INDICATED.

#### I. QUALITY CONTROL:

- CONTRACTOR RESPONSIBILITIES: TESTS AND INSPECTIONS ARE CONTRACTOR'S RESPONSIBILITY. PERFORM ADDITIONAL QUALITY-CONTROL ACTIVITIES, WHETHER SPECIFIED OR NOT, TO VERIFY AND DOCUMENT THAT THE WORK COMPLIES WITH REQUIREMENTS. ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM QUALITY-CONTROL SERVICES. NOTIFY TESTING AGENCIES AT LEAST [72] HOURS IN ADVANCE OF TIME WHEN WORK THAT REQUIRES TESTING OR INSPECTION WILL BE PERFORMED. COOPERATE WITH AGENCIES AND REPRESENTATIVES PERFORMING REQUIRED TESTS, INSPECTIONS, AND SIMILAR QUALITY-CONTROL SERVICES, AND PROVIDE REASONABLE AUXILIARY SERVICES AS REQUESTED.
- 2. TESTING AGENCY RESPONSIBILITIES: COOPERATE WITH ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY IN PERFORMANCE OF DUTIES. PROVIDE QUALIFIED PERSONNEL TO PERFORM REQUIRED TESTS AND INSPECTIONS. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM REQUIREMENTS. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
- CONTRACTOR AND TESTING AGENCY SHALL COORDINATE SEQUENCE OF ACTIVITIES TO ACCOMMODATE REQUIRED QUALITY-ASSURANCE AND QUALITY-CONTROL SERVICES WITH A MINIMUM OF DELAY AND TO AVOID NECESSITY OF REMOVING AND REPLACING CONSTRUCTION TO ACCOMMODATE TESTING AND INSPECTION.
- J. SPECIAL TESTS AND INSPECTIONS: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY OR SPECIAL INSPECTOR TO CONDUCT SPECIAL TESTS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION AS THE RESPONSIBILITY OF OWNER AS INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS FOLLOWS:
- 1. VERIFYING THAT MANUFACTURER MAINTAINS DETAILED FABRICATION AND QUALITY-CONTROL PROCEDURES AND REVIEWING THE COMPLETENESS AND ADEQUACY OF THOSE PROCEDURES TO PERFORM THE WORK.
- 2. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND **COMMISSIONING AUTHORITY** PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
- 3. SUBMITTING A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-CONTROL SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY WITH COPY TO CONTRACTOR AND TO AUTHORITIES HAVING JURISDICTION. SUBMIT A FINAL REPORT OF SPECIAL TESTS AND INSPECTIONS AT SUBSTANTIAL COMPLETION, WHICH INCLUDES A LIST OF UNRESOLVED DEFICIENCIES.
- 4. RETESTING AND REINSPECTING CORRECTED WORK.
- K. ALL RETESTING/REINSPECTING: REGARDLESS OF WHETHER ORIGINAL TESTS OR INSPECTIONS WERE CONTRACTOR'S RESPONSIBILITY OR THE OWNER'S SPECIAL INSPECTIONS, PROVIDE QUALITY-CONTROL SERVICES, INCLUDING RETESTING AND REINSPECTING, FOR CONSTRUCTION THAT REPLACED WORK THAT FAILED TO COMPLY WITH THE CONTRACT DOCUMENTS.

#### CONSTRUCTION WASTE MANAGEMENT:

- A. DEVELOP A WASTE MANAGEMENT PLAN AND SUBMIT PLAN FOR APPROVAL WITHIN 14 DAYS OF DATE ESTABLISHED FOR COMMENCEMENT OF THE
- B. DISTRIBUTE AND IMPLEMENT APPROVED WASTE MANAGEMENT PLAN. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION, AND OTHER ITEMS AS REQUIRED TO IMPLEMENT WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
- C. TRAIN WORKERS, SUBCONTRACTORS, AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK.
- D. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT WASTE MANAGEMENT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DESIGNATE AND LABEL SPECIFIC AREAS ON PROJECT SITE NECESSARY FOR SEPARATING MATERIALS THAT ARE TO BE SALVAGED AND RECYCLED.

#### **CLOSEOUT PROCEDURES:**

- A. CONTRACTOR'S LIST OF INCOMPLETE ITEMS: PREPARE AND SUBMIT A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (CONTRACTOR'S "PUNCH LIST"), INDICATING THE VALUE OF EACH ITEM ON THE LIST AND REASONS WHY THE WORK IS INCOMPLETE.
- B. SUBMITTALS PRIOR TO SUBSTANTIAL COMPLETION: COMPLETE THE FOLLOWING A MINIMUM OF 10 DAYS PRIOR TO REQUESTING INSPECTION FOR DETERMINING DATE OF SUBSTANTIAL COMPLETION.

#### 1. SUBMIT A FINAL APPLICATION FOR PAYMENT.

- CERTIFICATE OF INSURANCE: SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE.
- 3. CERTIFIED LIST OF INCOMPLETE ITEMS: SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE.
- 4. CERTIFICATES OF RELEASE: OBTAIN AND SUBMIT RELEASES FROM AUTHORITIES HAVING JURISDICTION, PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR
- 5. SUBMIT CLOSEOUT SUBMITTALS AS REQUIRED, INCLUDING SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.
- 6. SUBMIT MAINTENANCE MATERIAL SUBMITTALS SPECIFIED IN INDIVIDUAL SECTIONS, INCLUDING TOOLS, SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS, AND DELIVER TO LOCATION DESIGNATED BY OWNER OR OWNER'S AGENT. LABEL WITH MANUFACTURER'S NAME AND MODEL
- 7. SUBMIT TESTING, ADJUSTING, AND BALANCING RECORDS.
- 8. SUBMIT CHANGEOVER INFORMATION RELATED TO OWNER'S OCCUPANCY, USE, OPERATION, AND MAINTENANCE.

#### C. FINAL CLEANING

- 1. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. CLEAN EACH SURFACE OR UNIT TO CONDITION EXPECTED IN AN AVERAGE COMMERCIAL BUILDING CLEANING AND MAINTENANCE PROGRAM. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- 2. USE CLEANING PRODUCTS THAT COMPLY WITH GREEN SEAL'S GS-37, OR IF GS-37 IS NOT APPLICABLE, USE PRODUCTS THAT COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS MAXIMUM ALLOWABLE VOC LEVELS.
- 3. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR
- 4. VACUUM CARPET AND SIMILAR SOFT SURFACES, REMOVING DEBRIS AND EXCESS NAP; CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS IF VISIBLE SOIL OR STAINS REMAIN.
- 5. CLEAN TRANSPARENT MATERIALS, INCLUDING MIRRORS AND GLASS IN DOORS AND WINDOWS. REMOVE GLAZING COMPOUNDS AND OTHER NOTICEABLE, VISION-OBSCURING MATERIALS. POLISH MIRRORS AND GLASS, TAKING CARE NOT TO SCRATCH
- 6. CLEAN PLUMBING FIXTURES TO A SANITARY CONDITION, FREE OF STAINS, INCLUDING STAINS RESULTING FROM WATER

#### OPERATIONS AND MAINTENANCE DATA:

- A. SUBMIT EACH MANUAL IN FINAL FORM PRIOR TO REQUESTING INSPECTION FOR SUBSTANTIAL COMPLETION AND AT LEAST 10 DAYS BEFORE COMMENCING DEMONSTRATION AND TRAINING.
- B. CORRECT OR REVISE EACH MANUAL TO COMPLY WITH ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS. SUBMIT COPIES OF EACH CORRECTED MANUAL WITHIN 10 DAYS OF RECEIPT OF ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS AND PRIOR TO COMMENCING DEMONSTRATION AND TRAINING.
- C. SUBMIT ON DIGITAL MEDIA ACCEPTABLE TO ARCHITECT BY UPLOADING TO WEB-BASED PROJECT SOFTWARE SITE OR BY EMAIL TO ARCHITECT, IF WEB-BASED SOFTWARE IS NOT UTILIZED. ENABLE REVIEWER COMMENTS ON DRAFT SUBMITTALS.
- 1. ELECTRONIC FILES: USE ELECTRONIC FILES PREPARED BY MANUFACTURER WHERE AVAILABLE. WHERE SCANNING OF PAPER DOCUMENTS IS REQUIRED, CONFIGURE SCANNED FILE FOR MINIMUM READABLE FILE SIZE.
- 2. BOOKMARK INDIVIDUAL DOCUMENTS BASED ON FILE NAMES. NAME DOCUMENT FILES TO CORRESPOND TO SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES USED IN MANUAL DIRECTORY AND TABLE OF CONTENTS. GROUP DOCUMENTS FOR EACH SYSTEM AND SUBSYSTEM INTO INDIVIDUAL COMPOSITE BOOKMARKED FILES, THEN CREATE COMPOSITE MANUAL, SO THAT RESULTING BOOKMARKS REFLECT THE SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES IN A READILY NAVIGATED FILE TREE. CONFIGURE ELECTRONIC MANUAL TO DISPLAY BOOKMARK PANEL ON OPENING FILE.
- D. ORGANIZATION OF MANUALS: UNLESS OTHERWISE INDICATED, ORGANIZE EACH MANUAL INTO A SEPARATE SECTION FOR EACH SYSTEM AND SUBSYSTEM, AND A SEPARATE SECTION FOR EACH PIECE OF EQUIPMENT NOT PART OF A SYSTEM. PROVIDE A TITLE PAGE AND TABLE OF CONTENTS.
- TITLE PAGE SHALL INCLUDE:
- a. SUBJECT MATTER INCLUDED IN MANUAL.
- b. DATE OF SUBMITTAL.
- c. NAME AND CONTACT INFORMATION FOR CONTRACTOR AND CONSTRUCTION MANAGER WHEN APPLICABLE
- d. NAME AND CONTACT INFORMATION FOR COMMISSIONING AUTHORITY. 2. EMERGENCY MANUAL: ASSEMBLE A COMPLETE SET OF EMERGENCY INFORMATION INDICATING PROCEDURES FOR USE BY

EACH PRODUCT, MATERIAL, AND FINISH INCORPORATED INTO THE WORK.

INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED.

DATA SECTION ABOVE FOR SUBMISSION FORMAT REQUIREMENTS.

- EMERGENCY PERSONNEL AND BY OWNER'S OPERATING PERSONNEL FOR TYPES OF EMERGENCIES INDICATED. 3. SYSTEMS AND EQUIPMENT OPERATION MANUAL: ASSEMBLE A COMPLETE SET OF DATA INDICATING OPERATION OF EACH
- SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE INFORMATION REQUIRED FOR DAILY OPERATION AND MANAGEMENT, OPERATING STANDARDS, AND ROUTINE AND SPECIAL OPERATING PROCEDURES. 4. SYSTEMS AND EQUIPMENT MAINTENANCE MANUALS: ASSEMBLE A COMPLETE SET OF DATA INDICATING MAINTENANCE OF EACH

SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE MANUFACTURERS' MAINTENANCE

DIAGRAMS, LISTS OF SPARE PARTS, AND WARRANTY INFORMATION. 5. PRODUCT MAINTENANCE MANUAL: ASSEMBLE A COMPLETE SET OF MAINTENANCE DATA INDICATING CARE AND MAINTENANCE OF

DOCUMENTATION, PREVENTIVE MAINTENANCE PROCEDURES AND FREQUENCY, REPAIR PROCEDURES, WIRING AND SYSTEMS

#### PROJECT RECORD DOCUMENTS:

- A. RECORD PRINTS: MAINTAIN ONE SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS,
- B. MAINTAIN ONE COPY OF EACH SUBMITTAL DURING THE CONSTRUCTION PERIOD FOR PROJECT RECORD DOCUMENT PURPOSES.
- POST CHANGES AND REVISIONS TO PROJECT RECORD DOCUMENTS AS THEY OCCUR; DO NOT WAIT UNTIL END OF PROJECT. C. RECORD DIGITAL DATA FILES: IMMEDIATELY BEFORE INSPECTION FOR CERTIFICATE OF SUBSTANTIAL COMPLETION, REVIEW MARKED-UP RECORD DOCUMENTS WITH ARCHITECT, CONTRACTOR AND/OR CONSTRUCTION MANAGER, WHEN AUTHORIZED. PREPARE A FULL SET OF CORRECTED DIGITAL DATA FILES OF THE CONTRACT DOCUMENTS. SEE OPERATIONS AND MAINTENANCE

#### **DEMONSTRATION AND TRAINING:**

INSTRUCTION TIMES, AND LOCATION.

USE **A DEMONSTRATION** PERFORMANCE-BASED TEST.

- A. FACILITATOR: CONTRACTOR OR CONSTRUCTION MANAGER SHALL PREPARE INSTRUCTION PROGRAM AND TRAINING MODULES, TO COORDINATE INSTRUCTORS, AND TO COORDINATE BETWEEN CONTRACTOR AND OWNER FOR NUMBER OF PARTICIPANTS,
- B. ENGAGE QUALIFIED INSTRUCTORS TO INSTRUCT OWNER'S PERSONNEL TO ADJUST, OPERATE, AND MAINTAIN SYSTEMS SUBSYSTEMS, AND EQUIPMENT NOT PART OF A SYSTEM.
- C. PROVIDE INSTRUCTION AT MUTUALLY AGREED-ON TIMES. FOR EQUIPMENT THAT REQUIRES SEASONAL OPERATION, PROVIDE SIMILAR INSTRUCTION AT START OF EACH SEASON.
- D. TRAINING LOCATION AND REFERENCE MATERIAL: CONDUCT TRAINING ON-SITE IN THE COMPLETED AND FULLY OPERATIONAL FACILITY USING THE ACTUAL EQUIPMENT IN-PLACE. CONDUCT TRAINING USING FINAL OPERATION AND MAINTENANCE DATA
- F. COLLECT USED AND LEFTOVER EDUCATIONAL MATERIALS AND GIVE TO OWNER. REMOVE INSTRUCTIONAL EQUIPMENT. RESTORE SYSTEMS AND EQUIPMENT TO CONDITION EXISTING BEFORE INITIAL TRAINING USE.

E. EVALUATION: AT CONCLUSION OF EACH TRAINING MODULE, ASSESS AND DOCUMENT EACH PARTICIPANT'S MASTERY OF MODULE BY



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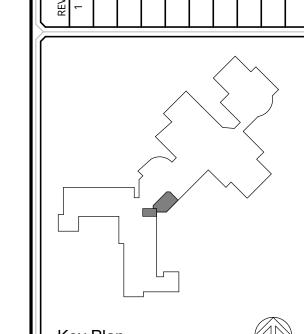
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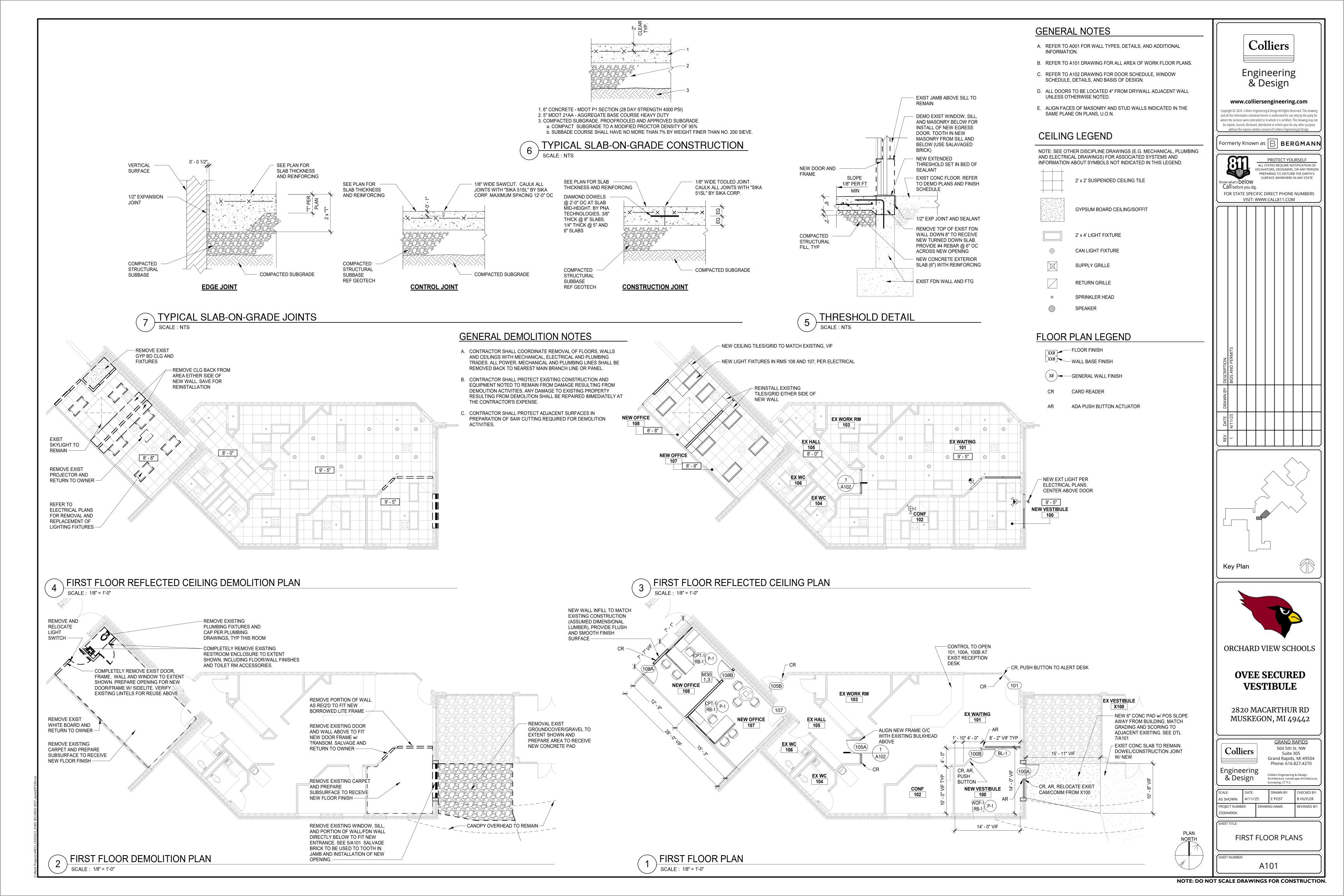
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Surveying, CT P.C.

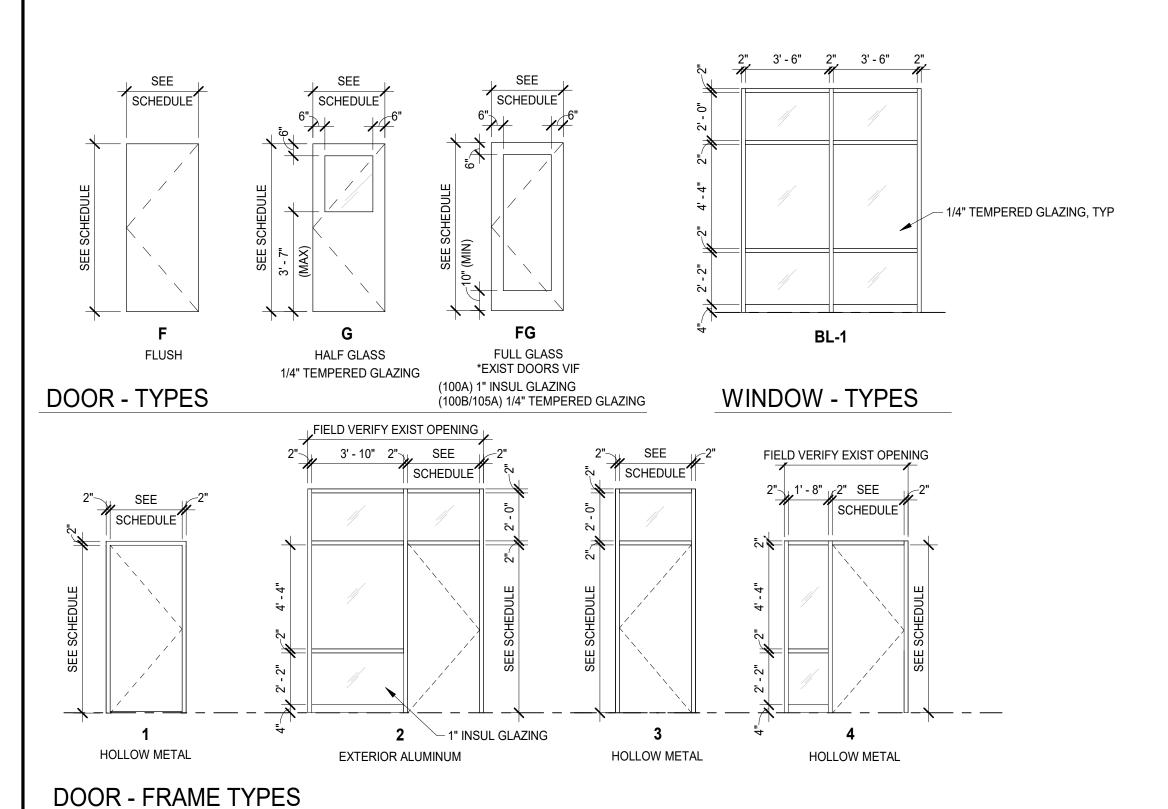
REQUIREMENTS

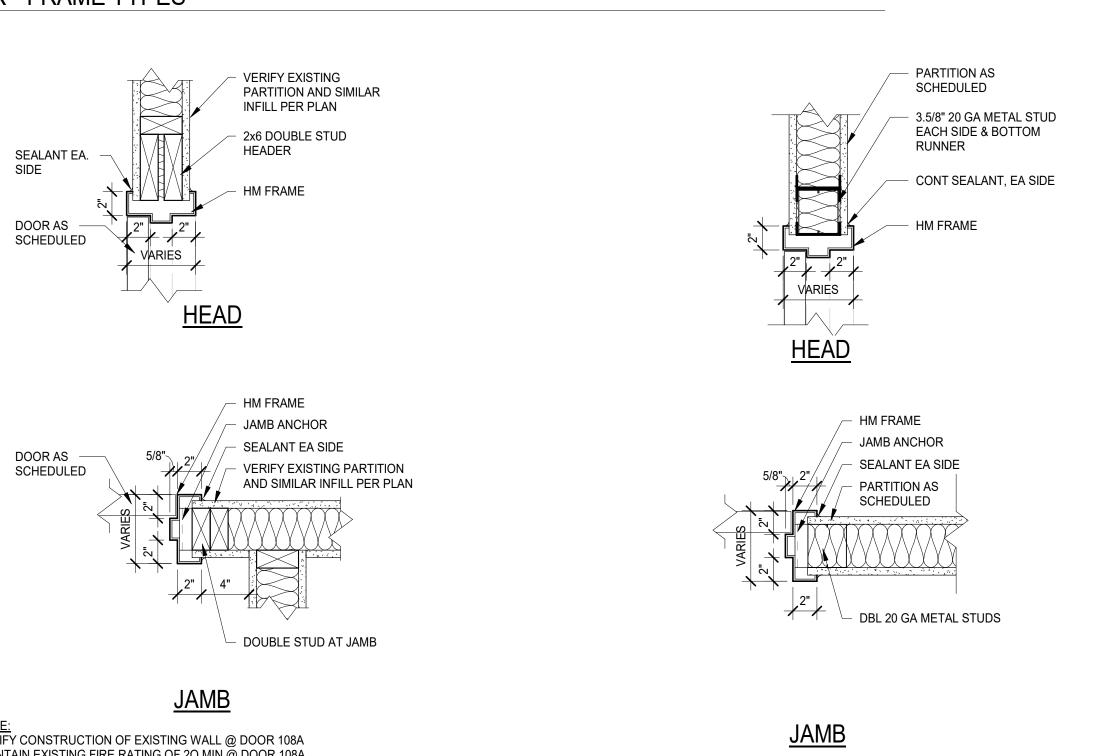
**GENERAL** 



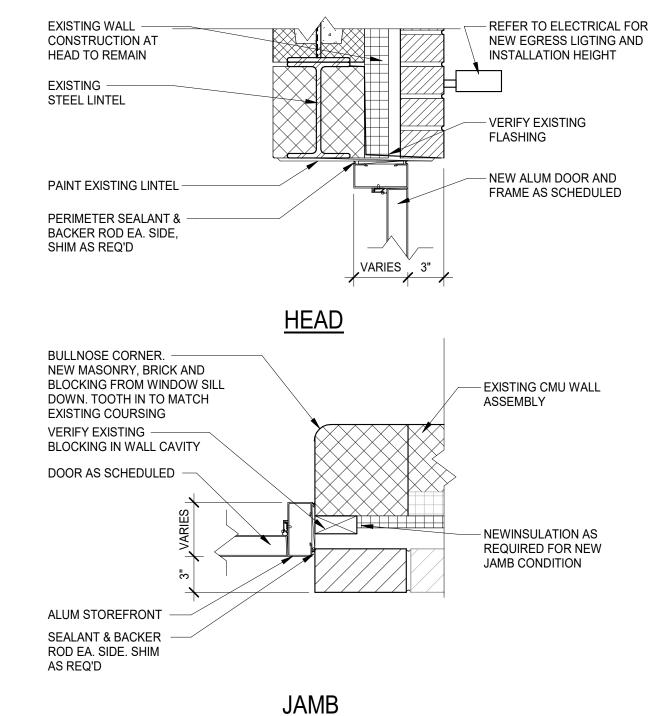
								DOOR SCHEDUL	.E			
			DOOR				FRAME			GENERAL		
DOOR#	WIDTH	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	DETAIL	HDWR	RATING	REMARKS	DOOR#
Existing							'					
FIRST FLOOR												
101	EXISTING	EXISTING	EXISTING	FG	EX HM - PT	EXIST	EX HM - PT		05		CR EA SIDE, PUSH BUTTON TO DESK, PROVIDE NEW HARDWARE FOR POWER	101
105B	EXISTING	EXISTING	EXISTING	F	WD - ST	EXIST	HM - PT		03		CR, PROVIDE NEW HARDWARE FOR POWER	105B
107	EXISTING	EXISTING	EXISTING	F	EX HM - PT	EXIST	EX HM - PT		08	EX 90 MIN	PROVIDE 7"x22" NARROW LITE VISION KIT IN EXIST DR, MAINTAIN FIRE RATING	107
New Construction FIRST FLOOR												
100A	3' - 0"	7' - 0"	0' - 1 3/4"	FG	ALUM - FF	2	ALUM - FF	2/A102; 5/A101	07		CR, AR EA SIDE, USE EXIST CAM/COMM RELOCATED FROM X100	100A
100B	3' - 0"	7' - 0"	0' - 1 3/4"	FG	WD - ST	4	HM - PT	3/A102	06		CR, AR EA SIDE, PUSH BUTTON TO DESK	100B
105A	3' - 0"	7' - 0"	0' - 1 3/4"	FG	WD - ST	4	ALUM - FF	3/A102; 1/A102	02		CR	105A
108A	3' - 0"	7' - 0"	0' - 1 3/4"	G	WD - ST	1	HM - PT	4/A102	04	20 MIN	CR	108A
108B	3' - 0"	7' - 0"	0' - 1 3/4"	G	WD - ST	1	HM - PT	3/A102	01			108B

NOTE: CONTRACTOR TO VERIFY EXISTING DOOR CONDITIONS FOR INSTALLATION OF NEW HARDWARE. COORDINATE WITH LOW VOLTAGE CONTRACTOR ON POWER REQUIREMENTS AND ROUTING OF LOW VOLTAGE AND POWER/JUNCTION BOXES.





3 TYP HM HEAD & JAMB @ INT METAL STUD



- EXISTING CMU WALL ASSEMBLY - NEWINSULATION AS REQUIRED FOR NEW JAMB CONDITION <u>JAMB</u>

TYP ALUM HEAD & JAMB DETAILS @ EXT MASONRY BRICK

VENEER 2 SCALE: 1 1/2" = 1'-0"

	ROOM FINISH SCHEDULE								
ROOM				WALL FINISH (PLAN DIRECTIONS)				CEILING	
NUMBER	NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	FINISH	REMARKS
FIRST FLOOR	1	1			'		•	-	•
100	NEW VESTIBULE	WOF-1 (NEW)	RB-1 (NEW)	P-1	P-1	P-1	P-1	ACT-1 (EXIST w/ PATCH)	PAINT ALL WALLS ENTIRE ROOM
101	EX WAITING					P*	P*		PAINT TOUCH UP AT NEW CONSTUCTION
105	EX HALL				P*				PAINT TOUCH UP AT NEW CONSTUCTION
107	NEW OFFICE	CPT-1 (NEW)	RB-1 (NEW)	P-1	P-1	P-1	P-1	ACT-1 (EXIST w/ PATCH)	PAINT ALL WALLS ENTIRE ROOM
108	NEW OFFICE	CPT-1 (NEW)	RB-1 (NEW)	P-1	P-1	P-1	P-1	ACT-1 (EXIST w/ PATCH)	PAINT ALL WALLS ENTIRE ROOM

#### BASIS OF DESIGN

#### 12 48 13 ENTRANCE MATS & GRIDS

WOF-1: VINYL GRID SYSTEMS W/ CARPET

MANUFACTURER: PORTICO SYSTEMS COLLECTION: SNAP TRAX PLUS TILE COLOR:

#### 09 84 33 INTERIOR PAINT

P-1: FIELD - GYPSUM BOARD - NEW AND PREVIOUSLY PAINTED MANUFACTURER: SHERWIN-WILLIAMS

PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER, B28 SERIES PRIMER: INTERMEDIATE COAT: MATCH TOP COAT TOP COAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20

#### P-1: FIELD - CMU - PREVIOUSLY PAINTED

COLOR:

COLOR:

NOTE:

MANUFACTURER: SHERWIN-WILLIAMS LOXON CONCRETE AND MASONRY PRIMER LX02 SERIES PRIMER: INTERMEDIATE COAT: MATCH TOP COAT TOP COAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20

TBD (SAME AS ABOVE)

#### 09 68 13 TILE CARPET

**CPT-1: CARPET TILE; 24" x 24" (TBD)** 

MANUFACTURER: SHAWCONTRACT CORRESPOND TILE COLOR: INSTALLATION: QUARTER TURN

#### 09 65 13 RESILIENT BASE

RB-1: RESILIENT WALL BASE; 4" H (TBD)

MANUFACTURER: JOHNSONITE TRADITIONAL 4" DC COLOR: DOCKSIDE TOE STYLE: COVE

VERIFY EXISTING MATERIAL ATTIC STOCK WITH OWNER FOR PAINT, FLOORING, CEILING, AND WALL BASE FINISH MATERIALS SHOULD MATCH EXISTING U.O.N.

#### **SPECIFICATIONS:**

- HOLLOW METAL FRAME: HEAVY-DUTY ANSI/SDI A250.8, LEVEL 2, ANSI/SDI A250.4, LEVEL B, FULL PROFILE WELDED. ACCEPTABLE MANUFACTURERS - CECO DOOR, CURRIES COMPANY, REPUBLIC DOORS AND FRAMES, AND STEELCRAFT. FINISH - PAINT TO MATCH EXISTING SIMILAR DOOR
- FLUSH WOOD DOORS: SOLID-CORE FIVE-PLY FLUSH WOOD VENEERFACED DOORS FOR TRANSPARENT FINISH. PERFORMANCE GRADE - ANSI/WDMA I.S. EXTRA HEAVY DUTY. FACES - PLAIN SLICED RED OAK, CENTER-BALANCE MATCH. EXPOSED VERTICAL AND TOP EDGES - SAME SPECIES AS FACES, ARCHITECTURAL WOODWORK STANDARDS EDGE TYPE A. FIRE RATED DOORS - PROVIDE EDGE CONSTRUCTION WITH INTUMESCENT SEALS CONCEALED BY OUTER STILE. CORE FOR FIRE-RATED DOORS - AS REQUIRED TO ACHIEVE FIRE-RPROTECTION RATING INDICATED ON SCHEDULE. FINISH - FACTORY FINISH STAIN TO MATCH EXISTING DOORS. ACCEPTABLE MANUFACTURERS -EGGERS INDUSTRIES, OSHKOSH DOOR COMPANY, AND VT INDUSTRIES.
- ALUMINUM FRAMED ENTRANCES AND STOREFRONTS: EXTERIOR FRAMING TO BE THERMALLY BROKEN, ACCEPTABLE PRODUCTS/MANUFACTURERS - TUBELITE T14000 (4-1/2" DEPTH FRAME) OR APPROVED EQUAL. FINISH - ANODIC FINISH AAMA 611, AA-M12C22A42/A44, CLASS 1, MINIMUM 0.7 MIL THICKNESS, MATCH COLOR TO EXISTING ENTRANCE DOORS/WINDOWS. FABRICATION METHOD -FIELD FABRICATED STICK SYSTEM.
- ALUMINUM DOORS: 1-3/4" OVERALL THICKNESS, WITH MIN 0.125" THICK EXTRUDED ALUMINUM TUBULAR MEMBERS. MECHANICALLY FASTEN WITH CONCEALED RODS. TOP/BOTTOM OF DOOR TO RECEIVE 1/8" THICK CAP FOR FURTHER SEAL AND TRIM. GLAZING STOPS AND GASKETS NONREMOVABLE AT OUTSIDE DOOR - SQUARE, SNAP-ON, EXTRUDED ALUMINUM STOPS AND PREFORMED GASKETS. AT EXTERIOR DOORS PROVIDE SLIDING-TYPE WEATHER STRIPPING RETAINED IN ADJUSTIBLE STRIP AND MORTICED INTO DOOR EDGE. PROVIDE NEW ALUMINUM THRESHOLD. ACCEPTABLE PRODUCTS/MANUFACTURERS - TUBELITE THERMLBLOCK, MEDIUM STILE WITH 5" VERTICAL STILES, 4" TOP RAIL, AND 10" BOTTOM RAIL OR APPROVED EQUAL. FINISH -ANODIC FINISH AAMA 611, AA-M12C22A42/A44, CLASS 1, MINIMUM 0.7 MIL THICKNESS, MATCH COLOR TO EXISTING ENTRANCE DOORS/WINDOWS.

#### E. GLAZING:

- a. MONOLITHIC GLASS HEAT STRENGTHENED FULLY TEMPERED FLOAT GLASS, MINIMUM 6MM THICK, AT INTERIOR NON-FIRE RATED LOCATIONS U.O.N;
- b. FIRE RESISTANCE RATED GLAZING LISTED AND LABELED BY A TESTING AGENCY ACCEPTABLE TO AHJ FOR FIRE RESISTANCE RATINGS INDICATED BASED ON TESTING IN ACCORDANCE WITH ASTM E119 OR UL 263. LAMINATED GLASS WITH INTUMESCENT INTERLAYERS: LAMINATED GLASS MADE FROM MULTIPLE PLIES OF UNCOATED, CLEAR FLOAT GLASS WITH INTUMESCENT LAYERS; COMPLYING WITH 16 CFR 1201, CATEGORY II. MANUFACTURERS: PILKINGTON NORTH AMERICA, SAFTI FIRST FIRE RATED GLAZING SOLUTIONS, TECHNICAL GLASS PRODUCTS OR
- VETROTECH SAINT-GOBAIN. GLAZING GASKETS, GLAZING SEALANTS, GLAZING TAPES, SETTING BLOCKS, SPACERS, EDGE BLOCKS, AND OTHER GLAZING ACCESSORIES COMPATIBLE WITH GLAZING PRODUCTS AND EACH OTHER AND ARE APPROVED BY TESTING AGENCIES THAT LISTED AND LABELED FIRE-RESISTANCT GLAZING PRODUCTS WITH WHICH PRODUCTS ARE USED FOR
- APPLICATIONS AND FIRE-RPROTECTION RATINGS INDICATED. GLAZING SEALANTS FOR FIRE-RATED GLAZING PRODUCTS - NEUTRAL-CURING SILICONE GLAZING SEALANT COMPLYING WITH ASTM C920, TYPE S, GRADE NS, CLADD 50, USE NT. MANUFACTURERS: GE CONSTRUCTION SEALANTS, THE DOW CHEMICAL COMPANY, OR
- TREMCO INCORPORATED. c. INSULATED GLASS - VISION
- CONFORMANCE WITH ASTM E 2190; ACCEPTABLE PRODUCTS/MANUFACTURERS GUARDIAN GALSS, SUNGUARD SN68 OR APPROVED EQUAL. 1 INCH THICK OVERALL, 6 MM MINIMUM THICKNESS OF EACH GLASS LITE.
- OUTDOOR LITE: HEAT STRENGTHED FLOAT GLASS. INDOOR LITE: CLEAR FLOAT GLASS. INTERSPACE CONTENT: AIR OR ARGON AS REQ'D TO MEET SPECIFIED U-FACTOR.
- LOW-E COATING: SPUTTERED ON NO. 2 SURFACE. WINTER NIGHTTIME U-FACTOR: 0.29 MAXIMUM; SUMMER DAYTIME U-FACTOR: 0.28 MAXIMUM.

#### VISIBLE LIGHT TRANSMITTANCE: 68% F. HOLLOW METAL FRAMES:

- a. INTERIOR HOLLOW METAL FRAMES: HEAVY-DUTY ANSI/SDI A250.8, LEVEL 2, ANSI/SDI A250.4, LEVEL B. FULL PROFILE WELDED. PRIME PAINTED FOR SITE FINAL FINISH. ACCEPTABLE MANUFACTURERS - CECO DOOR, CURRIES COMPANY, REPUBLIC DOORS AND FRAMES, AND
- b. FIRE-RATED, BORROWED-LITE ASSEMBLIES: ASSEMBLIES COMPLYING WITH NFPA 80 AND LISTED AND LABELED BY A QUALIFIED TESTING AGENCY ACCEPTABLE TO AHJ, FOR FIRE PROTECTION RATIGINGS INDICATED, BASED ON TESTING ACCORDING TO NFPA 257 OR UL9.



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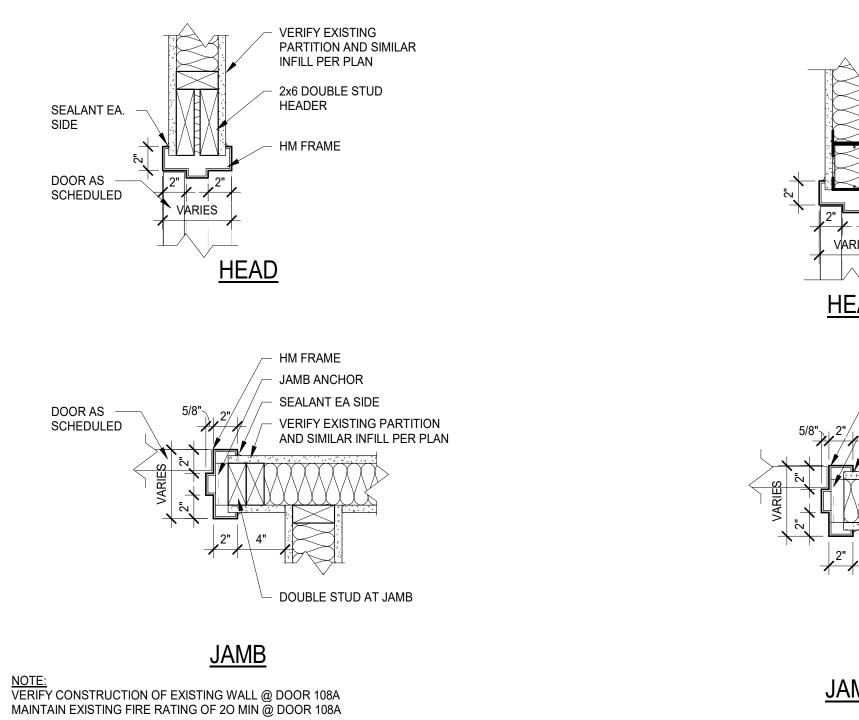
SCHEDULES AND

DETAILS

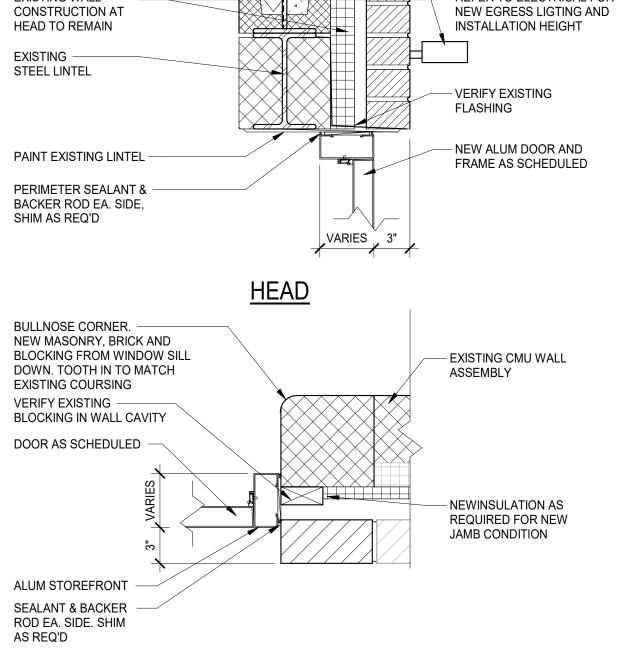
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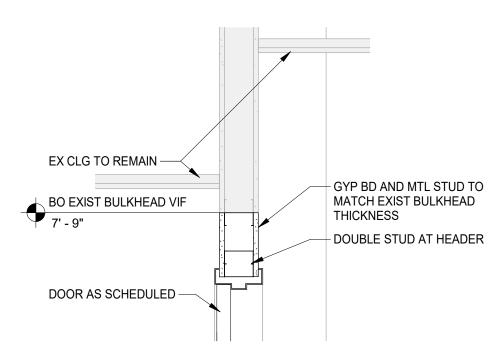
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

PROIECT NUMBER:



TYP HM HEAD & JAMB DETAIL @ INT WOOD STUD

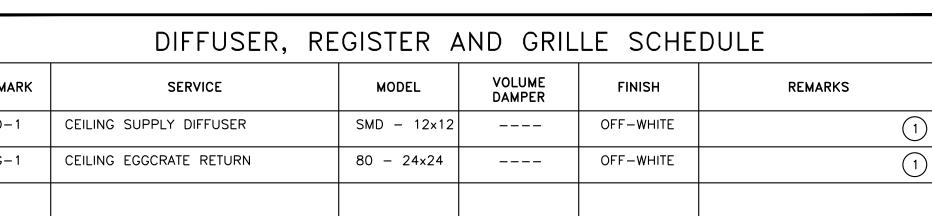




HEADER DETAIL @ DR 105A

	DIFFUSER, REGISTER AND GRILLE SCHEDULE							
MARK	SERVICE	MODEL	VOLUME DAMPER	FINISH	REMARKS			
D-1	CEILING SUPPLY DIFFUSER	SMD - 12×12		OFF-WHITE	1			
G-1	CEILING EGGCRATE RETURN	80 – 24×24		OFF-WHITE	1			

1) BASED ON PRICE



GENERAL MECHANICAL REQUIREMENTS

2021 MICHIGAN MECHANICAL CODE.

CONSTRUCTION AND INSTALLATION.

CODE REQUIREMENTS.

10% OF VALUES LISTED.

1. ENTIRE INSTALLATION SHALL BE IN COMPLIANCE WITH

2. DUCTWORK SHALL BE SHEET METAL CONFORMING TO

INSULATION VALUE OF R-4.2 OR 1-1/2" THICK. PROVIDE EXTERNAL THERMAL INSULATION WITH AN INTEGRAL VAPOR BARRIER FACING OF SUFFICIENT THICKNESS TO MEET ENERGY

4. ALL SUPPLY DIFFUSERS SHALL BE BALANCED TO WITHIN

5. DO NOT INSTALL ANY DUCTWORK AROUND ELECTRICAL EQUIPMENT TO INSURE ALL CODE REQUIRED CLEARANCES.

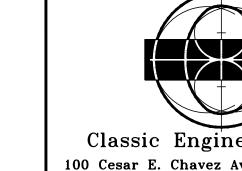
WORKMANSHIP FOR ONE YEAR AFTER OCCUPANCY BY OWNER.

SEE ELECTRICAL PLANS FOR THESE LOCATIONS.

6. MECHANICAL CONTRACTOR SHALL GUARANTEE

CURRENT ASHRAE AND SMACNA STANDARDS FOR

3. PROVIDE DUCTWORK WITH A MINIMUM INSTALLED



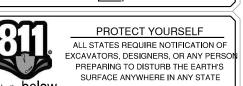
Classic Engineering, LLC 100 Cesar E. Chavez Ave. S.W. Suite 400 Grand Rapids, Michigan 49503 Phone: 616-742-2810 Project # 2025083

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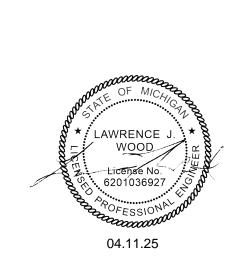
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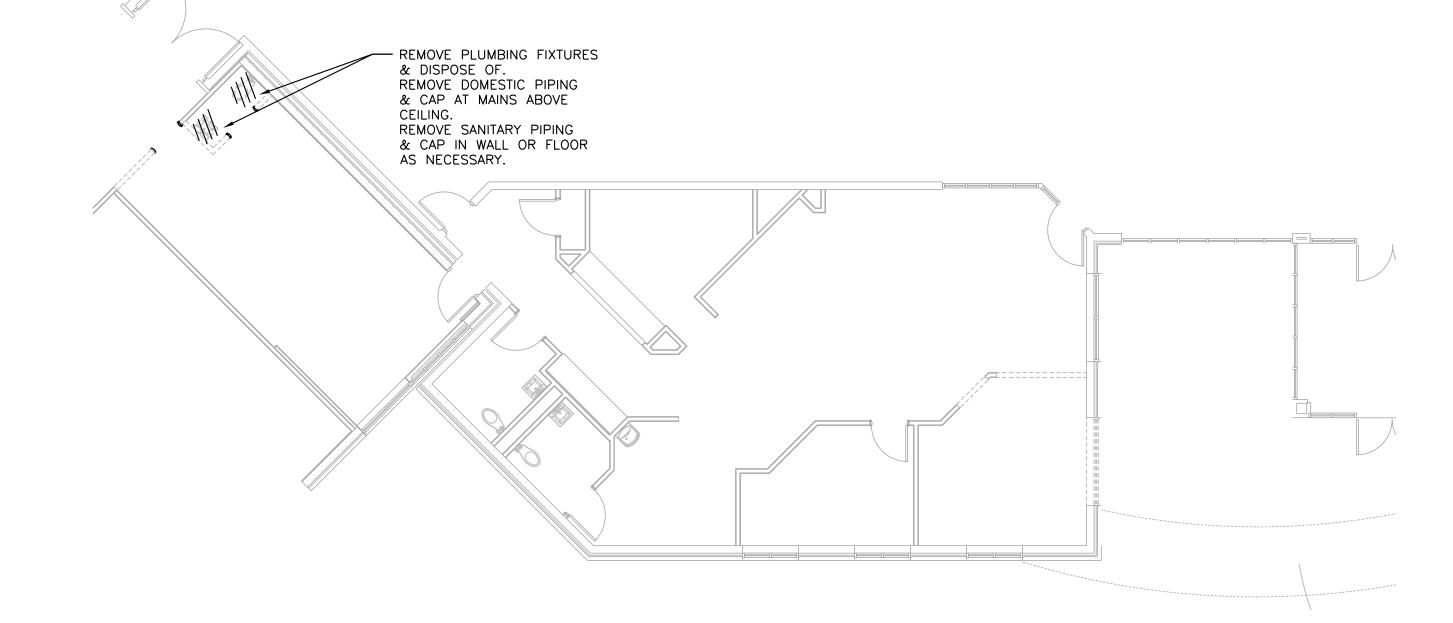
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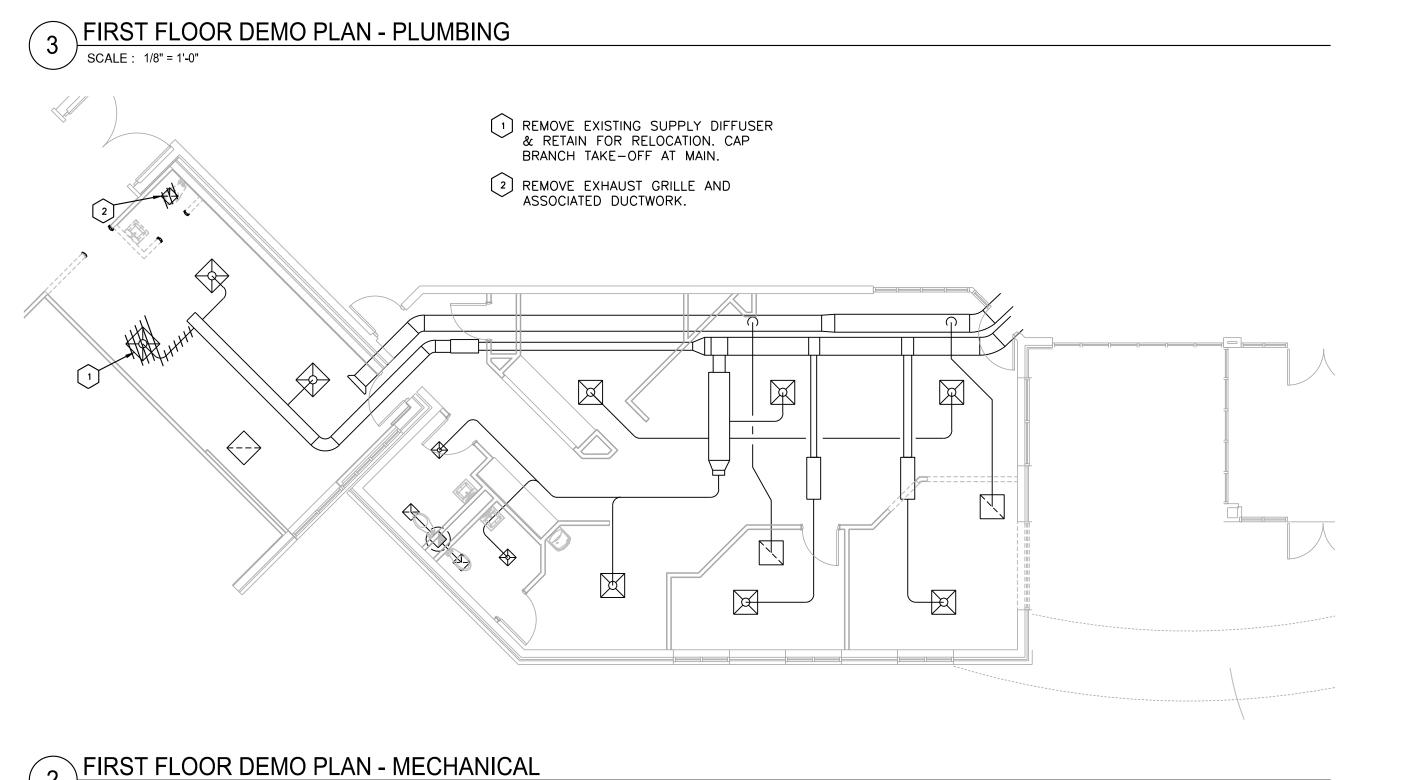
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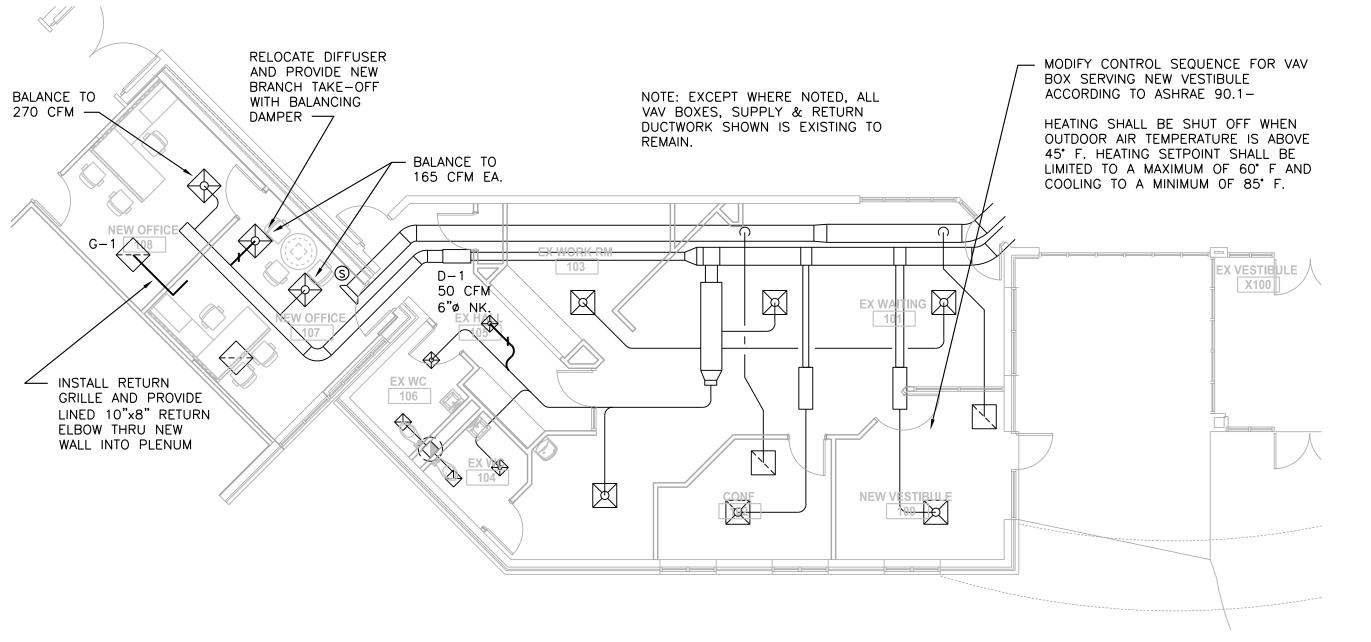
> FIRST FLOOR PLAN -MECHANICAL/ DEMOLITION

> > M101





SCALE: 1/8" = 1'-0"



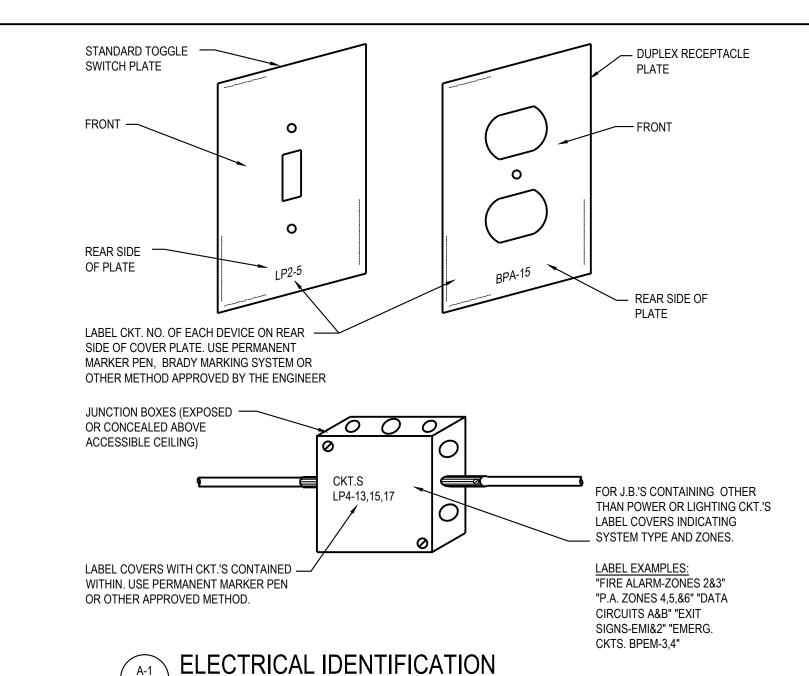
SYMBOL	ELECTRICAL SYMBOL LEGEND  DESCRIPTION	MTG. HT. TO G
S S <sub>3</sub>	SINGLE POLE OR 3-WAY SWITCH-	46"
	SPECIFICATION GRADE	
S <sub>4</sub>	FOUR WAY SWITCH-SPEC. GRADE	46"
SK	KEY OPERATED SWITCH-SPEC. GRADE	46"
S <sub>D</sub>	DIMMER SWITCH	46"
S IR	IR SWITCH	46"
S IRD	IR SWITCH DIMMABLE	46"
Sp	SWITCH WITH PILOT LIGHT	46"
S M	MANUAL MOTOR STARTER SWITCH	46"
OS	OCCUPANCY SENSOR	
PC	PHOTO CELL	
CS	CONTROL STATION	46"
DS	DAYLIGHT SENSOR	
<b>Ф</b> c	SPLIT WIRED RECEPTACLE C - DENOTES CONTROLLED VIA RELAY OR OCC SENSOR	18"
<b>₫</b> WR	WATER RESISTANT GROUND FAULT CIRCUIT INTERRUPTER WITH WEATHERPROOF WHILE IN USE COVER	18"
<b>d d</b>	DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
# ∰	(2) DUPLEX OUTLET-SPEC. GRADE	18"
φ	CIRCLE AROUND SYMBOL= CEILING MOUNTED  SPECIAL SINGLE RECEPTACLE	18"
	SPECIAL OUTLET-CHARACTERISTICS AS NOTED ON PLANS	AS NOTED
	DATA OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER.	
▽ ♡	1-1/4"C. UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
₩ ₩	TV OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER. 1-1/4"C. UP WALL TO CLG. SPACE	18"
lacksquare	CIRCLE AROUND SYMBOL= CEILING MOUNTED  TELEPHONE OUTLET-4" SQ. BOX W/ 1 GANG RAISED	18"
<u>^</u>	COVER. 1-1/4"C. UP WALL TO CLG. SPACE TELEPHONE/DATA OUTLET-4" SQ. BOX W/ 1 GANG	18"
	RAISED COVER. 1-1/4"C. UP WALL TO CLG. SPACE	10
√WN	FLOOR BOX 2 RECEPT, 2 DATA THOMAS & BETTS-# 665-SC	
	1-1/4"C TO FLOORBOX FOR DATA FLOOR BOX 1 RECEPT, 1 DATA - THOMAS & BETTS-# 664-SC	
	1-1/4"C TO FLOORBOX FOR DATA  JUNCTION BOX - HUBBELL NSAV62M WITH RECEPTACLE KIT	
TV	HUBBELL NSOKP. PROVIDE CONNECTOR PLATE FOR A/V	AS NOTED
0	JUNCTION BOX -4" SQ. BOX W/ 2 GANG RAISED COVER. 1"C. UP WALL TO CLG. SPACE UNLESS OTHERWISE NOTED	AS NOTED
P	POWER POLE - SEE DRAWING FOR POWER - POWER/DATA SPECIFICATIONS	
M	ELECTRIC UTILITY METER	
Ē	FUSED DISCONNECT SWITCH- FDS-HEAVY DUTY	46"
	NON-FUSED DISCONNECT SWITCH- NFDS-HEAVY DUTY	46"
P	SW. AND PLUGFUSE HOLDER- BUSSMANN "SSU" & FUSESTAT FUSE	AT EQUIP.
$\boxtimes$	MAGNETIC MOTOR STARTER-MS	46"
ĒX	COMBINATION MAG. STARTER/ FUSED DISC. SWITCH - CS/FDS	46"
	COMBINATION MAG. STARTER/NON-FUSED DISC.	46"
VFD	SWITCH - CS/NFDS  VARIABLE FREQUENCY DRIVE	
	SINGLE PHASE ELECTRIC MOTOR	
	THREE PHASE ELECTRIC MOTOR	
	SURFACE OR FLUSH MTD. BRANCH CIRCUIT PANELBOARD	72" TO TOP
	TRANSFORMER	
PB	PUSH BUTTON	46"
T	THERMOSTAT. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2"C. TO ACCESSIBLE CEILING SPACE.	46"
H	HUMIDISTAT. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2"C. TO ACCESSIBLE CEILING SPACE.	46"
$\otimes$	RECESSED DOWNLIGHT LUMINAIRE	
$\otimes\rangle$	RECESSED WALLWASH LUMINAIRE	
0	SURFACE LUMINAIRE	
g	PENDANT LUMINAIRE	
	WALL MOUNTED LUMINAIRE	
•¤	SITE LIGHTING LUMINAIRE	
(N)	NIGHT LIGHT	
	STRIP LUMINAIRE	
	LED ACCENT/UNDER CABINET LUMINAIRE	
$\simeq$	RECESSED LUMINAIRE 2'x4' OR 2'x2'	
<del></del>	SURFACE LUMINAIRE 2'x4' OR 2'x2'	
	TRACK LIGHTING LUMINAIRE	
	TRACK LIGHTING LUMINAIRE  PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE EMERGENCY	
	PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE	
	PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE EMERGENCY EXIT SIGN - WALL MOUNTED OR CEILING MOUNTED	
	PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE EMERGENCY  EXIT SIGN - WALL MOUNTED OR CEILING MOUNTED ARROWS INDICATE PATH OF EGRESS	

SYMBOL	DESCRIPTION	MTG. HT. TO
F	FIRE ALARM PULL STATION	46"
WP WP	FIRE ALARM HORN/STROBE LIGHT (WP-DENOTES WEATHER PROOF)	80"
<u> </u>	AREA SMOKE DETECTOR-PHOTOELECTRIC	
	VISUAL ONLY ALARM	80"
<u> </u>	AUDIO ONLY ALARM	
<u> </u>	CEILING SPEAKER	
<u></u>	SPEAKER/STROBE LIGHT	
<u>∇</u> ∞	SMOKE/HORN BASE CO-DENOTES COMBO CARBON MONOXIDE/SMOKE	
DH	MAGNETIC DOOR HOLD OPEN	
CO	CARBON MONOXIDE SENSOR. E.C TO ROUGH-IN SINGLE GANG BOX AND 1/2"C. TO ACCESSIBLE CEILING SPACE.	
D	DUCT SMOKE DETECTOR	
Н	HEAT DETECTOR	
TS	O,S,&Y TAMPER SWITCH	
FS	WATER FLOW SWITCH	
RT	REMOTE ALARM KEY TEST SWITCH	46"
CR	FIRE ALARM CONTROL RELAY	
BD	BEAM DETECTOR	
F/SD	FIRE/SMOKE DAMPER	
F.A.C.P.	FIRE ALARM CONTROL PANEL	
F.A.A.	FIRE ALARM ANNUNCIATOR PANEL	
(\$)	CEILING SPEAKER	
®	CARD READER	46"
<b>(</b> )	SECURITY DOOR CONTACT	AT DOOR H
<b>(</b> )	SECURITY INTERCOM	46"
<b>©</b> >	SECURITY CAMERA - "W" DENOTES WALL MOUNTED CHEVRON INDICATES AIM LINE	TYPICALLY MOUNTED
⊗	SECURITY DOOR REQUEST TO EXIT	AT DOOR H

#### F.A. NOTES:

- 1. E.C. TO PROVIDE CONNECTION TO ALL DUCT DETECTORS WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT. COORDINATE QUANTITY AND LOCATIONS WITH MECHANICAL CONTRACTOR SCHEDULES, REVIEWING ALL CFM REQUIREMENTS. PROVIDE DUCT
- DETECTORS IF NOT NOTED TO BE PROVIDE BY M.C.

  2. E.C. TO PROVIDE CONNECTIONS TO ALL FLOW AND TAMPER SWITCHES WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT. COORDINATE QUANTITY AND LOCATIONS WITH FIRE
- PROTECTION DRAWINGS AND/OR DESIGN BUILD CONTRACTOR.
- 3. E.C. TO PROVIDE EMERGENCY POWER TO FIRE ALARM BOOSTER POWER SUPPLIES WHEN EMERGENCY POWER SYSTEM IS AVAILABLE.



			LIGHT FIXTU	JRE LEGEND	)			
FIXTURE	DESCRIPTION	MANU.	CATALOG PART#	FINISH	VOLTAGE	LAMPS	Wattage	REMARKS
TYPE								
Α	2x4LAY-IN	LITHONIA	EPANL 2X4 3000LM 80CRI 35K MIN10 ZT MVOLT	WHITE	MVOLT	LED	29W	NOTE 1,2
		METALUX				3500K		
		COLUMBIA				3141 LUMENS		
EM1	REMOTE HEAD	LITHONIA	ELA-QWP-L0309-SD	WHITE/GRAY	9.6	LED	1.5W/HEAD	MOUNT AT 9'-6" AFF
	WEATHERPROOF	SURE LITE						NOTE 1,2
	SINGLE	COMPASS						
		CHLORIDE						
EM2	EMERGENCY BUG EYE	LITHONIA	ELM2L-SDRT	WHITE	NA	LED	1	MOUNT AT 7'-6" AFF
		ISOLITE						NOTE 1,2
		WILLIAMS						
		DUAL LITE						
E1	EXIT COMBO	LITHONIA	LHQM LED R HO	WHITE	NA	LED	1	MOUNT AT 7'-6" AFF
		ISOLITE						NOTE 1,2
		WILLIAMS						
		DUAL LITE						
GENERAL	LIGHT FIXTURE SCHEDULE N	IOTES:						
1. V	ERIFY LIGHT FIXTURE FINAL S	SELECTION AND SPI	ECIFICATIONS WITH OWNER AND ARCHITECT PRIOR TO	ORDERING.				

2. EQUAL FIXTURES BY LITHONIA, METALUX, DAYBRITE OR OTHER PREAPPROVED MANUFACTURERS ARE ACCEPTABLE.



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Phone: 616-742-2810
Project # 2025083

#### **ELECTRICAL SPECIFICATIONS**

#### 26-0500 GENERAL PROVISIONS

- FURNISH AND INSTALL FIRST-CLASS WORKING SYSTEMS, TESTED AND READY FOR
  OPERATION, COMPLETE WITH LABOR AND MATERIALS (U.L. APPROVED COMMERCIAL GRADE).
  CONFORM TO DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS. USE
  PROPER NEMA RATED EQUIPMENT (i.e. "3R" WEATHERPROOF, "1" GENERAL DUTY, ETC.)
- 2. COORDINATE WITH THE DRAWINGS AND SPECIFICATIONS OF THE OTHER TRADES AND WITH
- 3. FIELD VERIFICATION OF ALL DIMENSIONS ARE REQUIRED, EXACT LOCATIONS, DISTANCES, AND LEVELS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS.
- 4. COMPLY WITH THE NATIONAL ELECTRICAL CODE 2023, PLUS LOCAL OR STATE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS APPLICABLE TO THE PARTICULAR CLASS OF WORK; ANY FEES IN CONNECTION THEREWITH ARE TO BE PAID BY ELECTRICAL CONTRACTOR.
- COMPLETE REQUIRED DEMOLITION, MAINTAINING OPERATION OF EXISTING TO REMAIN (COORDINATE WITH GC REGARDING ANY PHASING OF THE PROJECT) REWIRE EXISTING CIRCUITS IF REQUIRED.
- 6. WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.

#### **TESTING**

 WORK REQUIRED UNDER THIS HEADING SHALL BE BY THE ELECTRICAL CONTRACTOR (OR AS NOTED) AND INCLUDES ALL SUPERVISION, LABOR, MATERIALS, INSTRUMENTATION AND EQUIPMENT NECESSARY TO EFFECTIVELY TEST, MEASURE AND VERIFY THE PERFORMANCE OF THE ELECTRICAL EQUIPMENT SYSTEMS.

#### 26-0 529, 26-0533, 260534 RACEWAY, BOXES, AND FITTINGS

- 1. ALL WIRING SHALL BE RUN IN CONCEALED EMT (THINWALL) CONDUIT IN THE FINISHED AREAS OF THE BUILDING. CONDUIT MAY BE EXPOSED IN EQUIPMENT ROOMS OR OVERHEAD IN ROOMS WITHOUT CEILINGS. CONDUITS EXPOSED TO WEATHER TO BE RGC (RIGID GALVANIZED CONDUIT).MC CABLE ALLOWED IN AREAS ALLOWED PER NATIONAL ELECTRICAL CODE AND NOT SUBJECT TO DAMAGE.
- 2. HORIZONTAL AND VERTICAL CONDUIT RUNS MAY BE SUPPORTED BY ONE-HOLE MALLEABLE STRAPS, CLAMP-BACKS OR OTHER APPROVED DEVICES.
- 3. CONDUITS SHALL NOT BE RUN IN NOR SUPPORTED FROM DUCTWORK.

#### 26-0219 CONDUCTORS

ALL CONDUCTORS SHALL BE NEW. ALL CONDUCTORS FOR POWER AND LIGHTING SYSTEMS WIRING SHALL BE 98% CONDUCTIVITY COPPER TYPE THHN OR THW. ALUMINUM IS TO BE IS PERMITED FOR SERVICE ENTRANCE AND PANEL FEEDS. BRANCH CIRCUIT WIRING SHALL BE

TYPE NM, NMC AND NMS SHALL BE ALLOWED PER 334.10- MULTI FAMILY STRUCTURES PERMTED UNDER TYPES III, IV AND V CONSTRUCTION.

#### 26-2736 WIRING DEVICES

- 1. CONVENIENCE OUTLETS SHALL BE SPECIFICATION GRADE, RATED AT 20 AMPERE, GROUNDING TYPE, 125 VOLT, AND BEAR U.L. LABEL OF APPROVAL. STAINLESS STEEL COVER PLATES. MANUFACTURERS: PASS AND SEYMOUR CATALOG 5251-1, OR EQUAL BY HUBBLE, AND LEVITON.
- 2. ALL SWITCHES FOR LIGHTING SHALL BE SPECIFICATION GRADE RATED AT 20 AMPERE, 120/277 VOLTS. PASS AND SEYMOUR CATALOG 20AC-1 OR EQUAL BY HUBBLE, AND LEVITON.

#### 16350 GROUNDING

- 1. INSTALL COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NATIONAL ELECTRICAL
- 2. INSTALL BONDING WIRE IN NONMETALLIC AND FLEXIBLE CONDUIT CONNECTED AT SOURCE END TO PANELBOARD EQUIPMENT GROUND BAR AND AT LOAD END TO ENCLOSURE.
- 3. EXTEND COMPLETE BUILDING GROUNDING SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. INCLUDE INSULATED GROUND FOR ALL EXTERIOR AS WELL AS TOILET CIRCUITS

#### <u>26-5113 LIGHTING</u>

- 1. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND/OR INSTALL ALL FIXTURES WITH LAMPS, AS SHOWN ON THE DRAWINGS AND AS LISTED IN THE FIXTURE LEGEND. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADEQUATE SUPPORTING FACILITIES FOR THE LIGHTING SYSTEM.
- 2. WHERE RECESSED FIXTURES ARE INSTALLED IN CEILINGS FINISHED IN ACOUSTICAL TILE PATTERNS OR LAYOUTS, THE ELECTRICAL CONTRACTOR SHALL WORK IN COOPERATION WITH THE CEILING SUPPLIERS IN LOCATING AND FRAMING FIXTURES.

#### 26-2816 CONTROLS

- 1. COMPLETE CONTROLS FOR LIGHTING AND MECHANICAL EQUIPMENT, AS NOTED ON THE DRAWINGS. ALL LIGHTING CONTROLS SHALL COMPLY WITH 2015 MICHIGAN ENERGY CODE.
- 2. APPROVED MANUFACTURERS: ACUITY, COOPER, HUBBELL AND LEVITON.



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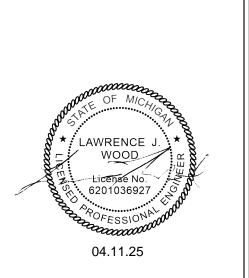
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ORCHARD VIEW SCHOOLS

OVEE SECURED VESTIBULE

2820 MACARTHUR RD MUSKEGON, MI 49442

**GRAND RAPIDS** 

C. LADEWIG

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AS	SHOWN	4/11//2	:5	M. DELORA	C. LADEWI			
PRO	PROJECT NUMBER:			IG NAME:	REVIEWED B			

DETAILS, SYMBOL LEGENDS AND

SPECIFICATIONS

SHEET NUMBER:

E1.00

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

"AC" DENOTES ABOVE COUNTER. COORDINATE HEIGHT WITH ARCHITECT.

**DEMOLITION POWER AND LIGHTING KEYNOTES:** 1 REMOVE EXISTING WIRING DEVICES IN WALLS TO BE REMOVED. PULL WIRING BACK TO

2 RELOCATE EXISTING SWITCHING WHERE WALLS ARE TO BE REMOVED. LIGHTS TO

3 NO WORK IN THIS AREA.

REMOVE EXISTING 2X4 LIGHTS AND DISPOSE OF PROPERLY. REUSE EXISTING CIRCUIT.

1. ALL 15A & 20A 120V NON-LOCKING RECEPTACLES WITH PUBLIC SPACES WHERE CHILDREN CAN BE FOUND SHALL BE LISTED TAMPER RESISTANT PER NEC 406.12. THIS INCLUDES SCHOOLS, HOTELS, CLINICS, OUTPATIENT FACILITIES, PLACES OF WAITING AND ALL COMMON USE AREAS (CORRIDORS, GYM, MUSIC ETC.). REPLACE ALL EXISTING RECEPTACLES WITH TAMPER RESISTANT.

2. MOUNT PANELS, TRANSFORMERS, DISCONNECT SWITCHES, AND COMBINATION MOTOR STARTERS WITH ADEQUATE CLEARANCES IN ACCORDANCE WITH NEC 110.

3. VERIFY ALL EQUIPMENT REQUIREMENTS, CONNECTION TYPES, AND LOCATIONS WITH EQUIPMENT SUPPLIER AND NAMEPLATES PRIOR TO ROUGH-IN.

4. EXISTING FIRE ALARM, DEVICES TO REMAIN.

5. FIRE ALARM (FA) DEVICES, IF SHOWN, ARE DIAGRAMMATIC IN NATURE ONLY AND ARE INTENDED ONLY TO COMMUNICATE MAJOR SYSTEM COMPONENTS AND APPROXIMATE LOCATIONS. FULL FA DRAWINGS TO BE DELEGATED DESIGN AND SHALL INCLUDE ALL SYSTEM COMPONENTS, CALCULATIONS AND LOCATIONS.

#### POWER/LIGHTING KEYNOTES:

NO WORK IN THIS AREA.

**GENERAL POWER NOTES:** 

(2) EXISTING LIGHTS TO REMAIN. PROVIDE NEW SWITCHING AS SHOWN.

3 RELOCATE EXISTING CAMERA/COMMUNICATIONS FROM VESTIBULE X100.

CONNECT NEW DEVICES TO NEAREST AVAILABLE PANEL FOR CIRCUITS.

5 RELOCATE EXISTING CAMERA CLOSER TO NEW ENTRANCE

6 EXISTING FIRE ALARM DEVICES TO REMAIN.



- 1. CONNECT EMERGENCY LIGHTING TO CIRCUIT FEEDING GENERAL LIGHTING IN THAT AREA.
- 2. EXIT SIGNS TO BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT OR EMERGENCY LIGHTING CIRCUIT FEEDING THAT AREA.
- 3. LIGHTING CONTROL SHALL COMPLY WITH 2015 MICHIGAN ENERGY CODE WHERE APPLICABLE.



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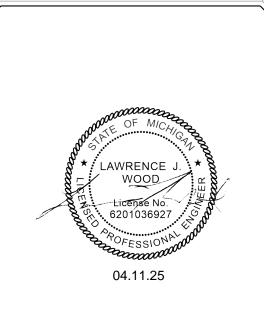
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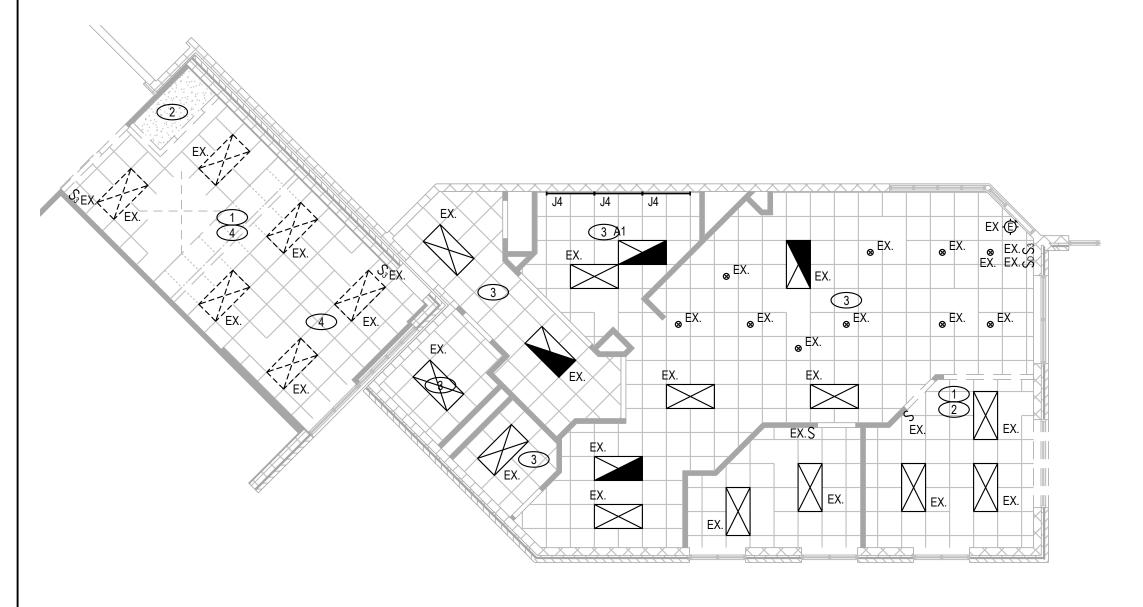
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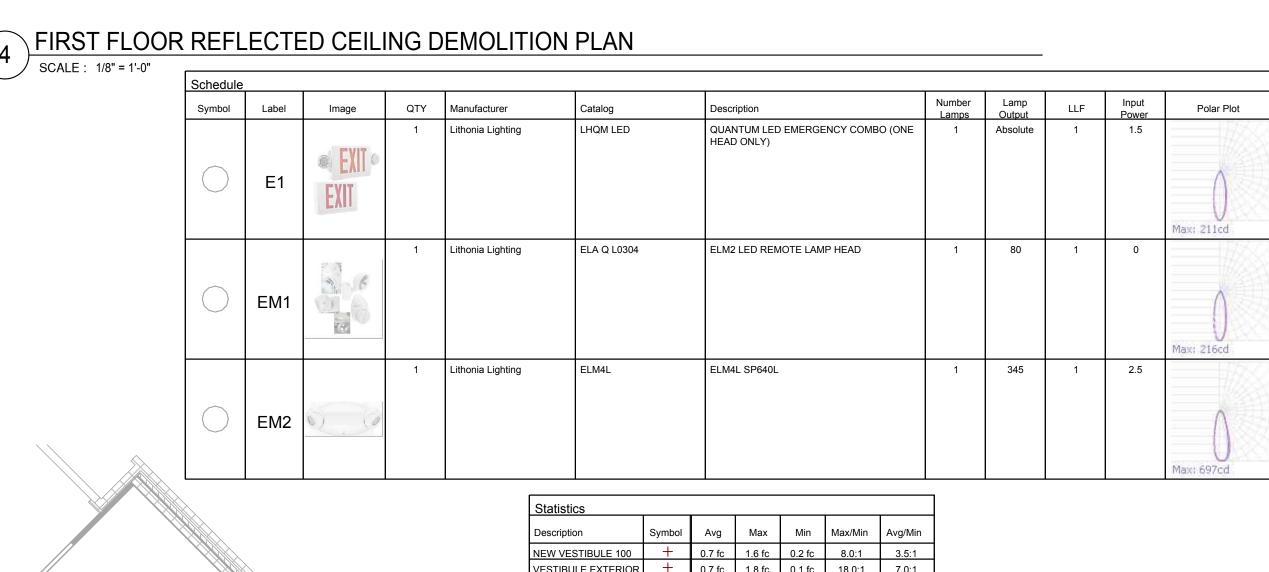
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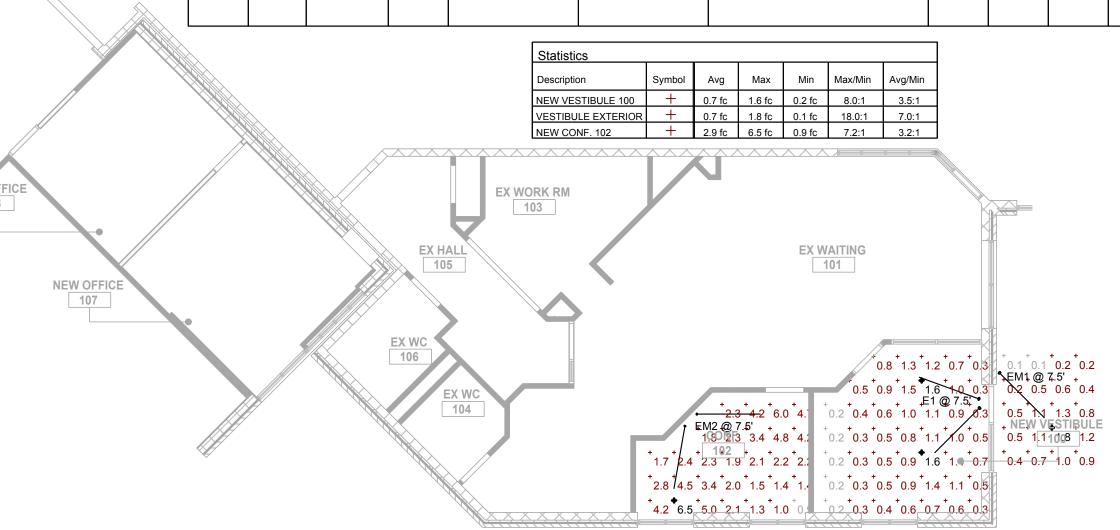
C. LADEWIG FIRST FLOOR PLAN -

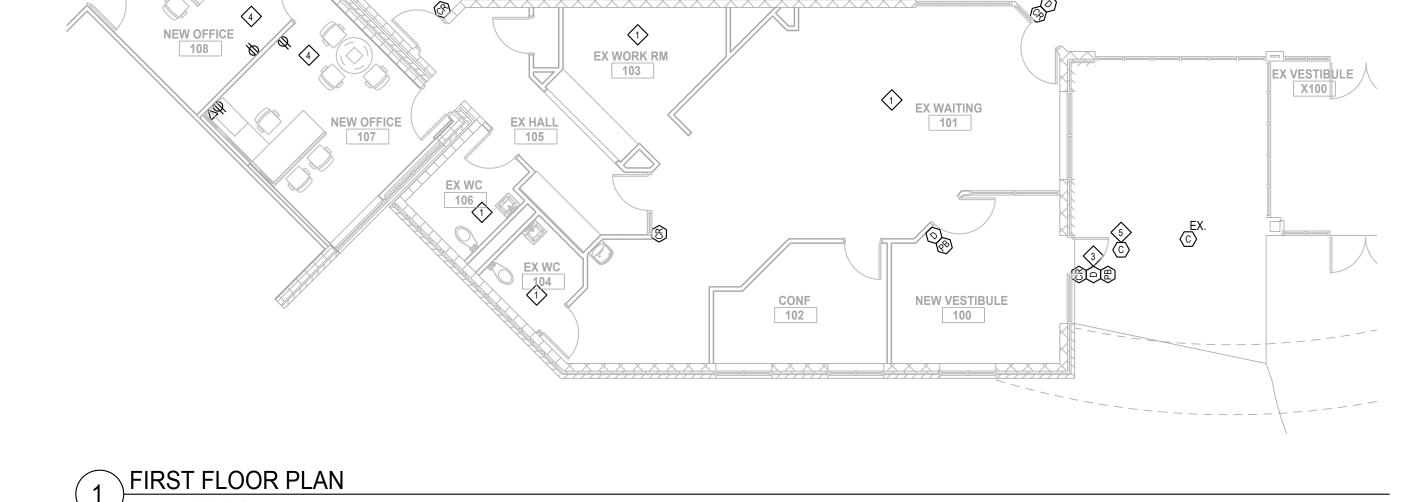
LIGHTING/POWER/ DEMOLITION

ELP101









FIRST FLOOR REFLECTED CEILING PLAN

FIRST FLOOR PHOTOMETRICS PLAN

SCALE: 1/8" = 1'-0"