

ORCHARD VIEW SCHOOLS (OVEE Secured Vestibule)



**ORCHARD VIEW
SCHOOLS**

OVEE SECURED VESTIBULE

2820 MACARTHUR
RD MUSKEGON, MI
49442

4/11/2025

PROJECT CONTACT LIST

OWNER:
- ORCHARD VIEW SCHOOLS
- 35 S SHERIDAN DR
MUSKEGON, MI
- CONTACT: EARL SCHAUB
- PHONE: 231.760.9889

ARCHITECT:
- COLLIERS ENGINEERING & DESIGN
- 560 5TH ST NW, SUITE 305
GRAND RAPIDS, MI
- CONTACT: BUDDY HUYLER
- PHONE: 616.848.6969

ELECTRICAL ENGINEER:
- CLASSIC ENGINEERING
- 100 CESAR E CHAVEZ AVE SW #400
GRAND RAPIDS, MI
- CONTACT: CINDY LADEWIG

MECHANICAL ENGINEER:
- CLASSIC ENGINEERING
- 100 CESAR E CHAVEZ AVE SW #400
GRAND RAPIDS, MI
- CONTACT: LARRY WOOD

DRAWING INDEX

00 - GENERAL
G000 COVER SHEET
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CODE SUMMARY

PROJECT SCOPE
RENOVATIONS CONSIST OF REMODELING EXISTING PRIVATE OFFICE INTO A SECURED VESTIBULE ENTRANCE INTO THE EXISTING RECEPTION WAITING AREA. TWO (2) NEW OFFICE WILL BE LOCATED IN AN EXISTING CONFERENCE ROOM. HARDWARE AND LOW VOLTAGE SECURITY WILL BE ADDED TO EXISTING DOORS TO FORM THE SECURED AREA.

APPLICABLE BUILDING CODES

BUILDING CODE: 2015 MICHIGAN BUILDING CODE
2015 MICHIGAN REHABILITATION CODE
NFPA 101-2012

BUILDING CODE (MI FIRE SAFETY STATE RULES):
MECHANICAL CODE: 2021 MICHIGAN MECHANICAL CODE
PLUMBING CODE: 2021 MICHIGAN PLUMBING CODE
ELECTRICAL CODE: 2023 NATIONAL ELECTRICAL CODE
2023 MICHIGAN PART 8, ELECTRICAL CODE RULES

BUILDING DATA

TOTAL BUILDING AREA: 78,230 SQ FT
TOTAL RENOVATION AREA: **595 SQ FT**
CONSTRUCTION TYPE = **II-B NON-COMBUSTIBLE NON-SPRINKLERED**

ALTERATIONS: **LEVEL 2 - (CHAPTER 8)**

USE AND OCCUPANCY

BUILDING IS CLASSIFIED AS **"E" EDUCATIONAL**
"B" BUSINESS (EXISTING OCCUPANCIES)

USES: **"E" EDUCATIONAL, "B" BUSINESS**

DATE	DESCRIPTION
4/11/25	BIDS AND PERMITS

PROJECT LOCATION MAP



4/10/2025 10:14:50 AM



DRAWING NUMBER

G000

APPLICABLE CODE:
 COMPLIANCE WITH THE: 2015 MICHIGAN BUILDING, REHABILITATION, AND ENERGY CONSERVATION CODES (BASED ON 2015 I-CODES), 2021 MICHIGAN MECHANICAL CODE, 2021 PLUMBING CODE (BASED ON 2021 IPC) INCLUDING MICHIGAN ADDENDA AND ERRATA; 2023 MICHIGAN ELECTRICAL CODE, PART 8 RULES (BY REFERENCE, 2023 NEC); BOILER CODE (2019 ASME BOILER AND PRESSURE VESSEL CODES WITH ADDENDA); ELEVATOR CODE (2010 ASME 17.1, 2011 ASME A18.1 AND ELEVATOR SAFETY BOARD GENERAL RULES, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC A117.1-09), AND OTHER LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.

BUILDING CODE SUMMARY

PROJECT INFORMATION:			
PROJECT NAME:	ORCHARD VIEW PUBLIC SCHOOLS RENOVATION		
PROJECT NUMBER:	25004490A		
PREPARED BY:	S KHUMALO	CHECKED BY:	B HUPLYER
DATE:	3/27/24	DATE:	

REHABILITATION OF EXISTING STRUCTURES:	
PER THE 2015 MICHIGAN RAHABILITATION CODE FOR EXISTING BUILDINGS (2015 EIBC)	
<input type="checkbox"/> REPAIRS (CHAPTER 6)	
<input type="checkbox"/> ALTERATIONS - LEVEL 1 (CHAPTER 7)	
<input checked="" type="checkbox"/> ALTERATIONS - LEVEL 2 (CHAPTER 8)	
<input type="checkbox"/> ALTERATIONS - LEVEL 3 (CHAPTER 9)	
<input type="checkbox"/> CHANGE OF OCCUPANCY (CHAPTER 10)	
FORMER OCCUPANCY CLASSIFICATION(S):	
NEW OCCUPANCY CLASSIFICATION(S):	
PARTIAL CHANGE OF OCCUPANCY: <input type="checkbox"/> YES <input type="checkbox"/> NO	
IF YES: <input type="checkbox"/> SEPARATED <input type="checkbox"/> NOT SEPARATED	
<input type="checkbox"/> ADDITIONS (CHAPTER 11)	
SEPARATED ADDITION: <input type="checkbox"/> YES <input type="checkbox"/> NO	
IF YES, FIRE RESISTANCE RATING: <input type="checkbox"/> FIRE WALL _____ HR	
<input type="checkbox"/> FIRE BARRIER _____ HR	
<input type="checkbox"/> HISTORIC BUILDING (CHAPTER 12)	
<input type="checkbox"/> RELOCATED BUILDING (CHAPTER 13)	
<input type="checkbox"/> ACCESSIBILITY UPGRADES: COMPLY WITH SECTION 410 AND ADDENDA	

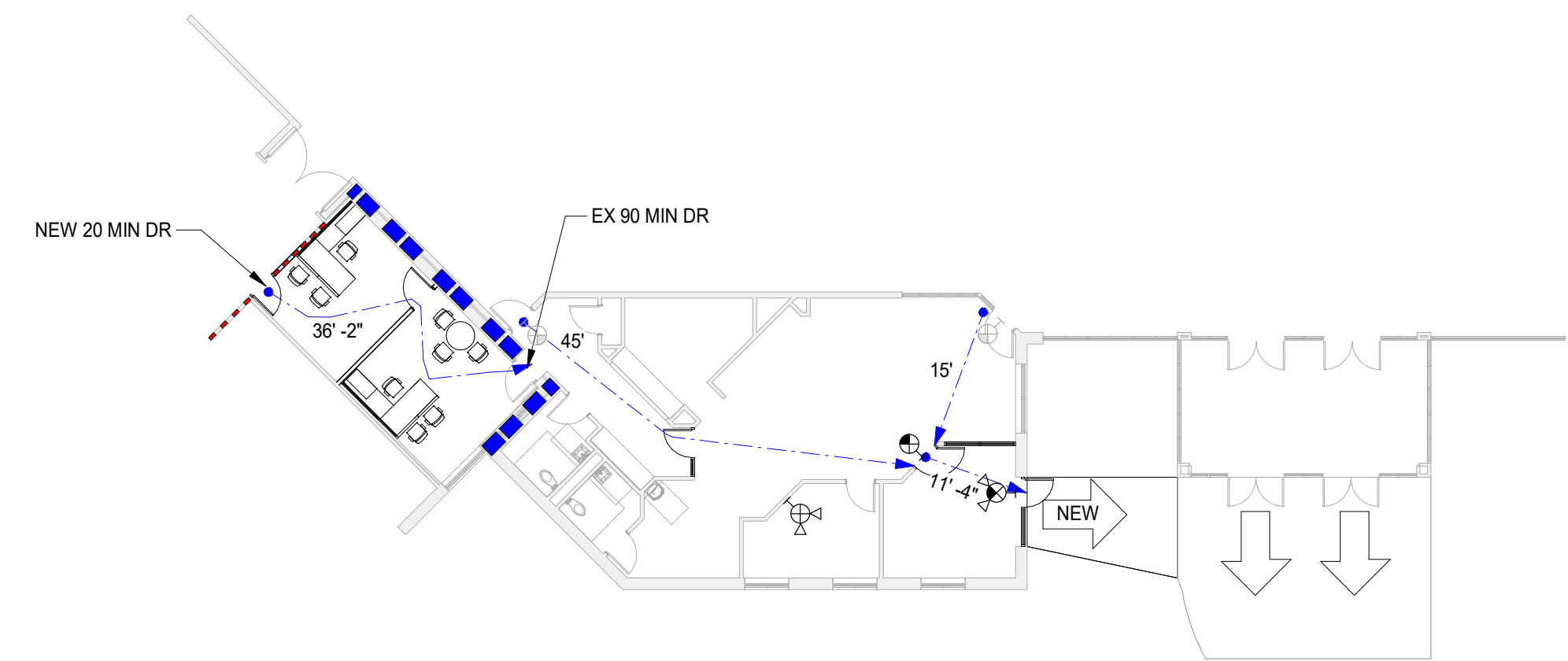
OCCUPANCY CLASSIFICATION AND MIXED OCCUPANCIES:	
(CHAPTERS 3 & 5)	
<input type="checkbox"/> SINGLE	<input type="checkbox"/> ACCESSORY - GROUP : _____ % OF FLOOR AREA
<input checked="" type="checkbox"/> MIXED OCCUPANCY	<input type="checkbox"/> SEPARATED <input checked="" type="checkbox"/> NON-SEPARATED <input type="checkbox"/> COMBINATION
IF SEPARATED, FIRE RESISTANCE RATING OF FIRE BARRIER: (TABLE 508.4) _____ HR	
OCCUPANCY CLASSIFICATION(S): _____ EDUCATION, BUSINESS (EXISTING OCCUPANCIES)	
USES: _____ EDUCATION, BUSINESS	

AUTOMATIC SPRINKLER SYSTEM PROVIDED THROUGHOUT BUILDING:	
<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
PARTIAL/LIMITED-AREA SPRINKLER SYSTEM: EXISTING PARTIAL IN AREA OF WORK	
<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
NFPA STANDARD: <input type="checkbox"/> 13 <input type="checkbox"/> 13R <input type="checkbox"/> ALT. FIRE PROTECTION SYSTEM:	

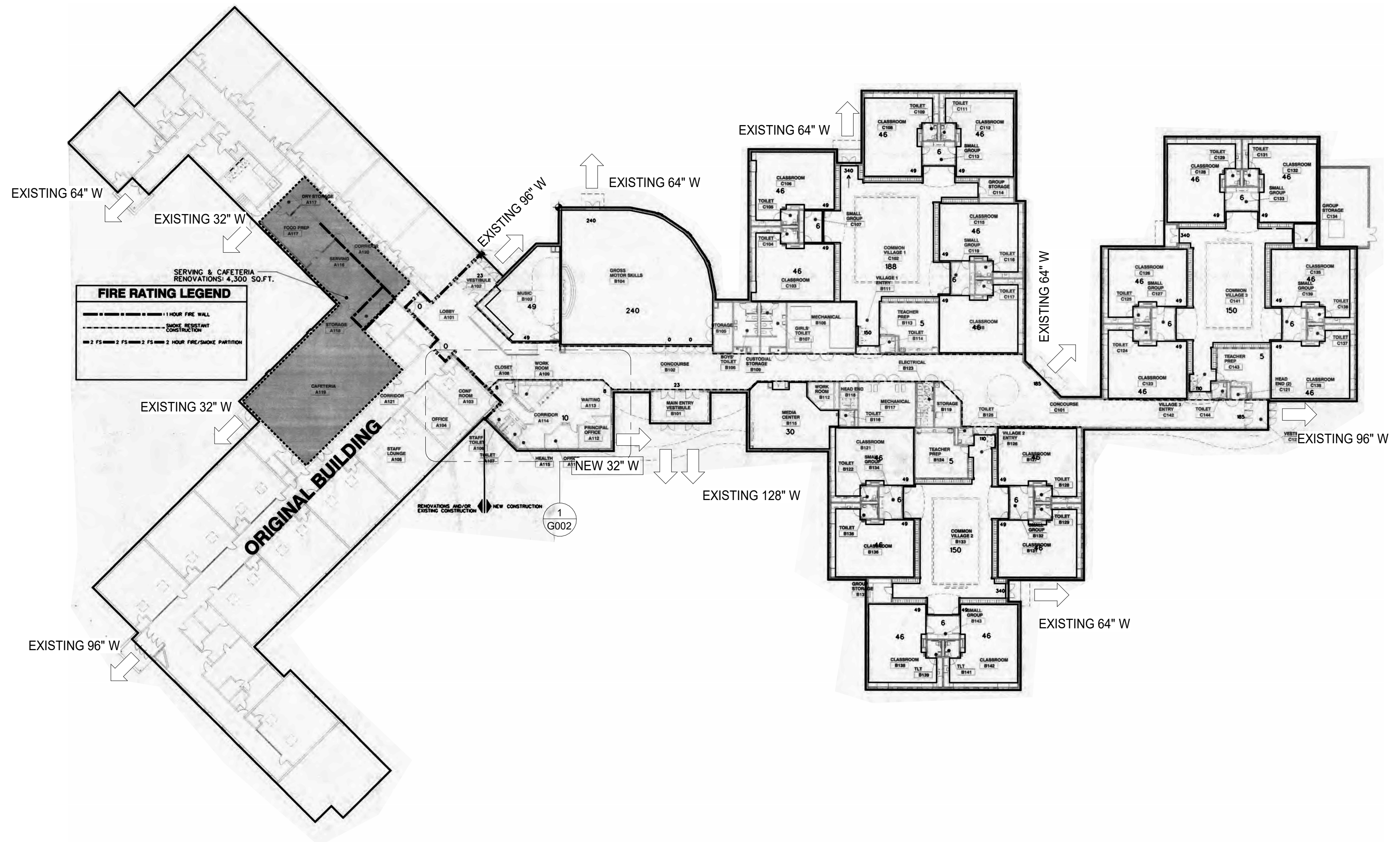
CONSTRUCTION TYPE: II (000) SECTION 601			
(CHAPTER 6)			
FIRE RESISTANCE OF BUILDING ELEMENTS:			
BUILDING ELEMENTS	REQUIRED	PROVIDED	SECTION
STRUCTURAL FRAME			(TABLE 601)
BEARING WALLS (EXTERIOR)			(TABLE 601)
BEARING WALLS (INTERIOR)			(TABLE 601)
NON-BEARING WALLS (EXTERIOR)			(TABLE 602)
NON-BEARING WALLS (INTERIOR)			(TABLE 601)
FLOOR CONSTRUCTION			(TABLE 601)
ROOF CONSTRUCTION			(TABLE 601)

HEIGHT & AREA - ACTUAL:				
(CHAPTER 5)				
BUILDING HEIGHT	HEIGHT IN FEET	HEIGHT IN STORIES		
EXISTING	ft	1/2 @ GYM		
BUILDING AREA SUMMARY				
FIRST	NEW	EXISTING	ADDITION	TOTAL
	sf	78,230	sf	78,230

INTERIOR FINISH:	
(CHAPTER 8)	
WALL AND CEILING	
OCCUPANCY:	
FINISH CLASS	LOCATION
<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> EXITS <input type="checkbox"/> CORRIDORS/EXIT ACCESS <input type="checkbox"/> ROOMS/ SPACES
<input checked="" type="checkbox"/> B	<input type="checkbox"/> EXITS <input checked="" type="checkbox"/> CORRIDORS/EXIT ACCESS <input type="checkbox"/> ROOMS/ SPACES
<input checked="" type="checkbox"/> C	<input type="checkbox"/> EXITS <input type="checkbox"/> CORRIDORS/EXIT ACCESS <input checked="" type="checkbox"/> ROOMS/ SPACES
FLOORING	
FINISH CLASS	OCCUPANCIES
<input type="checkbox"/> I	<input type="checkbox"/> ALL <input type="checkbox"/> GROUPS: _____
<input checked="" type="checkbox"/> II	<input checked="" type="checkbox"/> ALL <input checked="" type="checkbox"/> GROUPS: B
<input type="checkbox"/> DOC FF-1	<input type="checkbox"/> ALL <input type="checkbox"/> GROUPS: _____



1 CODE COMPLIANCE DIAGRAM - AREA OF WORK
 SCALE : 1/16" = 1'-0"



2 CODE COMPLIANCE DIAGRAM - OVERALL
 SCALE : 1/32" = 1'-0"

GENERAL NOTES

- APPLICABLE CODES:
 - WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL CODES AS INTERPRETED BY THE AUTHORITY HAVING JURISDICTION.
- COMPLIANCE:
 - PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
 - OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.
- CERTIFICATIONS:
 - THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.

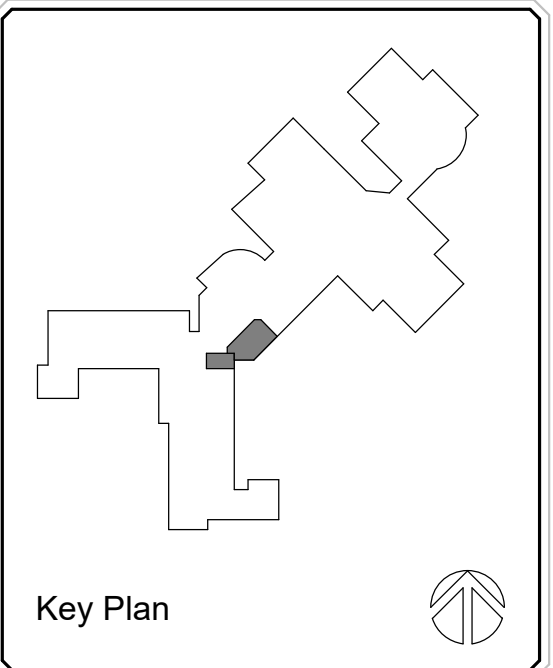
LEGEND

- OCCUPANCY GROUP
- S.F. — S.F.
- # — # OCCUPANTS
- SIGN DIRECTION
- FACE OF SIGN
- CPET — COMMON PATH OF EGRESS DISTANCE
- EATD — EXIT ACCESS TRAVEL DISTANCE (ALONG STAIRWAY NOSING AT OPEN STAIRWAYS)
- FE — FIRE EXTINGUISHER ON WALL BRACKET
- FE — FIRE EXTINGUISHER CABINET
- DF — DRINKING FOUNTAIN
- SS — SERVICE SINK
- 1-HR RATED WALL
- 2-HR RATED WALL
- 3-HR RATED WALL
- 4-HR RATED WALL

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Formerly Known as **BERGMANN**
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 Know what's below Call before you dig.
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DESCRIPTION	REVISIONS AND PERMITS
DRAWN BY	
DATE	4/11/25
REV	1



ORCHARD VIEW SCHOOLS
OVEE SECURED VESTIBULE
 2820 MACARTHUR RD
 MUSKEGON, MI 49442

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 Colliers Engineering & Design, Architecture, Landscape Architecture, Surveying, E.T.C.

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	4/11/25	E POST	B HUPLYER
PROJECT NUMBER:	DRAWING NAME:	REVIEWED BY:	APPROVER:
25004490A			

SHEET TITLE: **CODE COMPLIANCE & LIFE SAFETY PLANS**
 SHEET NUMBER: **G002**

DRAWING SYMBOLS

VIEW TITLE DETAIL NO. 1 View Name SCALE: 1/8" = 1'-0"	DETAIL CALLOUT DETAIL NO. 1 SIM DRAWING NO. A101	(101) DOOR MARKER XX WINDOW TYPE MARKER Room name 101 ROOM TAG
SECTION MARKER VIEWING DIRECTION DETAIL NO. 1 DRAWING NO. A101	ELEVATION MARKER Ref 1 ELEVATION NO. A000 DRAWING NO. Ref 1	SCHEDULED DOOR EXISTING DOOR KEYNOTE
DETAIL SECTION VIEWING DIRECTION DETAIL NO. 1 DRAWING NO. A101	BREAK MARKER NORTH ARROW (SHOWN IN KEYPLAN) XXX NEW COLUMN ID XXX EXISTING COLUMN ID	KEYNOTE (REMOVALS) XX EQUIPMENT TAG ELEVATION NOTATION 8'-0" CEILING HEIGHT
ACCESSORY MARKER		

MATERIAL INDICATORS

UNDISTURBED EARTH	STEEL	FINISH WOOD
GRAVEL OR CRUSHED STONE	RIGID INSULATION	BATT INSULATION
CAST STONE	BRICK	WOOD FRAMING (CONTINUOUS)
CONCRETE	PLYWOOD	WOOD BLOCKING (DISCONTIN.)
CONCRETE MASONRY UNIT	SAND OR GYPSUM BOARD	EXISTING

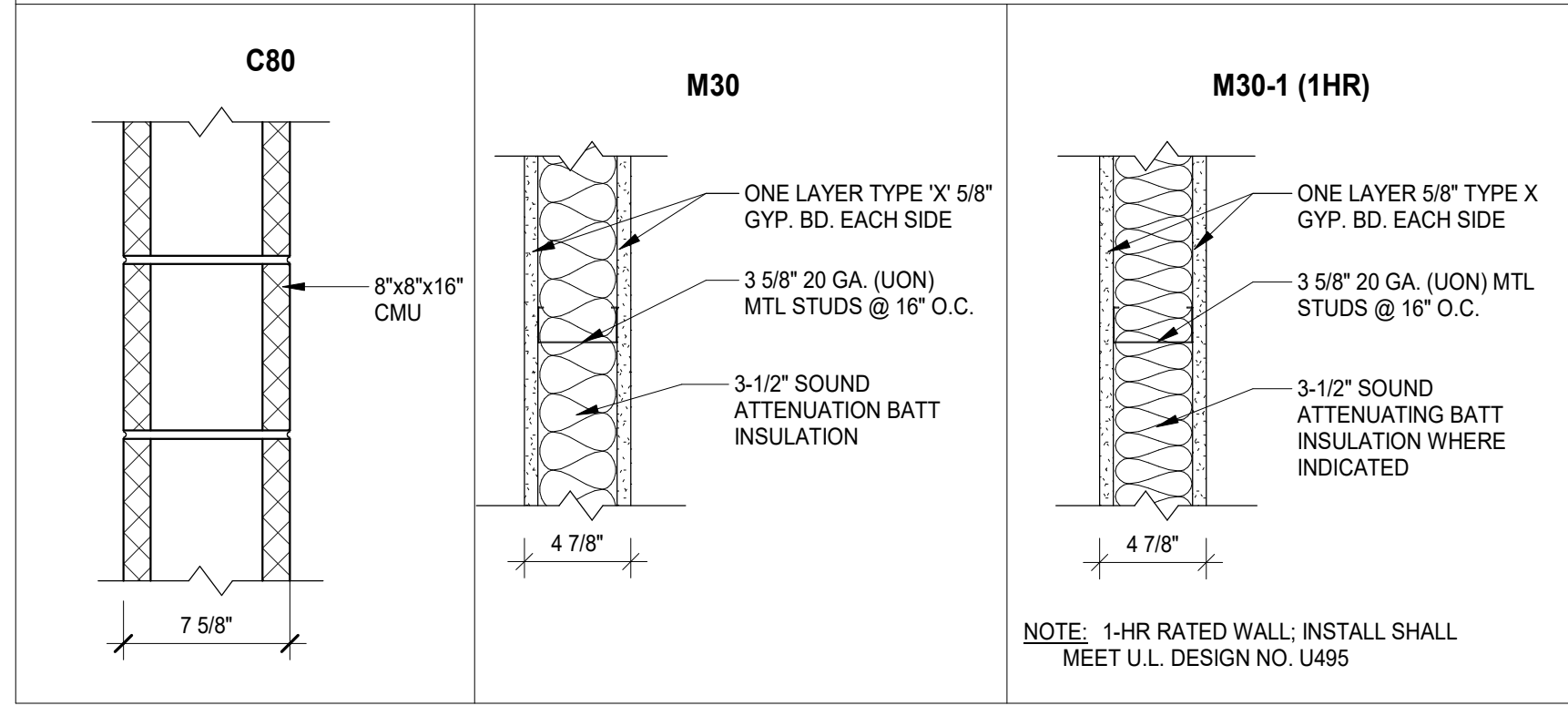
WALL STYLES

EXISTING BRICK WALL	BRICK WALL	EXISTING WALL REMOVAL
EXISTING CMU WALL	CMU WALL	
EXISTING STUD WALL	STUD WALL	

WALL LEGEND

<p>WALL MATERIAL - SEE BELOW WALL SIZE - SEE BELOW WALL TYPE - 0, 1, 2, 3 ETC. WALL INFORMATION REF WALL TYPES AND DETAILS; SEE THIS SHEET</p>	<table border="1"> <tr> <th>WALL MATERIAL</th> <th>WALL SIZES</th> </tr> <tr> <td>C = CONCRETE MASONRY UNITS</td> <td>8 = 8" NOMINAL, 7 5/8" ACTUAL</td> </tr> <tr> <td>M = METAL STUD</td> <td>3 = 3-5/8" METAL STUDS @ 16" O.C.</td> </tr> </table> <p>WALL INFORMATION 1 = WALL HEIGHT STUD FRAMING AND GYP BOARD FINISH TO DECK ABOVE 2 = GYP BOARD FINISH TO 10'-0" ABOVE FINISHED FLOOR 3 = SOUND ATTENUATION CAVITY BATT INSULATION FULL HEIGHT, FLOOR TO DECK</p>	WALL MATERIAL	WALL SIZES	C = CONCRETE MASONRY UNITS	8 = 8" NOMINAL, 7 5/8" ACTUAL	M = METAL STUD	3 = 3-5/8" METAL STUDS @ 16" O.C.
WALL MATERIAL	WALL SIZES						
C = CONCRETE MASONRY UNITS	8 = 8" NOMINAL, 7 5/8" ACTUAL						
M = METAL STUD	3 = 3-5/8" METAL STUDS @ 16" O.C.						

WALL TYPES



ABBREVIATIONS

"	INCHES	LLV	LONG LEG VERTICAL
#	NUMBER, POUNDS AND FEET	LMC	LINEAR METAL CEILING
(E), EXST	EXISTING TO REMAIN	LT	LIGHT
(ER)	EXISTING TO BE RELOCATED	LTL	LINTEL
(N)	NEW WORK	LVR	LOUVER
(R)	REMOVE	LVT	LUXURY VINYL TILE
(RE)	RELOCATED EXISTING	M	MAXIMUM
@	AT	MECH	MECHANICAL
Ø, DIA	DIAMETER	MEZZ	MEZZANINE
A	AIR CONDITIONING	MFR	MANUFACTURER
A/C	ACOUSTICAL CEILING PANELS	MIN	MINIMUM
ACP	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	MO	MASONRY OPENING
AFF	ABOVE FINISHED FLOOR	MTD	MOUNTED
AHU	AUTHORITY HAVING JURISDICTION	MTL	METAL
AHU	AIR HANDLING UNIT	N	NOT IN CONTRACT
ALT	ALTERNATE	NIC	NOT TO SCALE
ALUM	ALUMINUM	NTS	NOT TO SCALE
AOR	ARCHITECT OF RECORD	O	ON CENTER
APPROX	APPROXIMATE, APPROXIMATELY	OC	ON CENTER
ARCH	ARCHITECT, ARCHITECTURAL	OPP	OPPOSITE
ATTN	ATTENTION	OSB	ORIENTED STRAND BOARD
B	BOTTOM OF	P	PRECAST CONCRETE
BI, BO	BOARD	PCC	POUNDS PER CUBIC FOOT
BD	BUILDING	PCF	PLATE
BLDG	BLOCKING	PL	POUNDS PER LINEAR FOOT
BLKG	BETWEEN	PLM	PLASTIC LAMINATE
BTWN		PLYWD	PLYWOOD
C	CANTILEVER	PMEJ	PRE MOLDED EXPANSION JOINT
CG	CORNER GUARD	PMF	PRE MOLDED FILLER
CJ	CONTROL JOINT	PP	PLASTIC PANELING
CL	CENTERLINE	PSF	POUNDS PER SQUARE FOOT
CLG	CEILING	PSI	POUNDS PER SQUARE INCH
CLR	CLEAR	PT	PORCELAIN TILE
CM	CONSTRUCTION MANAGER	PTD	PAINTED
CMT	CERAMIC MOSAIC TILE	PTWD	(PRESSURE) PRESERVATIVE-TREATED WOOD
CMU	CONCRETE MASONRY UNIT	Q	QUARRY TILE
COL	COLUMN	QT	QUANTITY
CONC	CONCRETE	QTY	QUANTITY
CONT	CONTINUOUS	R	RISER
CORR	CORRIDOR	RB	RUBBER BASE
CT	CERAMIC TILE	RCP	REFLECTED CEILING PLAN
CTB	CERAMIC TILE BASE	RD	ROOF DRAIN
D	DEEP	REBAR	REINFORCING BAR
D	DEEP	REINF	REINFORCED, REINFORCING, REINFORCEMENT
DF	DRINKING FOUNTAIN	REQD	REQUIRED
DIAM Ø	DIAMETER	REQUIREMENTS	
DM	DIMENSION	RESIL	RESILIENT
DWG, DWGS	DRAWING, DRAWINGS	RF	RESILIENT FLOORING
E	EACH	RM	ROOM
EA	EACH	RO	ROUGH OPENING
EIFS	EXTERIOR INSULATION FINISH SYSTEM	RTU	ROOF TOP UNIT
EL	ELEVATION	S	SEALED CONCRETE
ELEC	ELECTRIC, ELECTRICAL	SC	SCHEDULE
ELEV	ELEVATOR	SCHED	SCHEDULE
EXP	EPOXY FLOORING	SCL	STRUCTURAL COMPOSITE LUMBER
EXP	EXPANSION	SF, SQFT	SQUARE FEET
EXP BT	EXPANSION BOLT	SIM	SIMILAR
EXT	EXTERIOR	SMS	SHEET METAL SCREW
F	FLOOR CLEANOUT	SOG	SLAB ON GRADE / GROUND
FCO	FLOOR CLEANOUT	SPCS	SPACES
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SS	SOLID SURFACE
FEC	FIRE EXTINGUISHER CABINET	SSL	SHORT SLOTTED
FFE	FINISH FLOOR ELEVATION	SST	STAINLESS STEEL
FLG	FLOORING	STC	SOUND TRANSMISSION CLASS
FLR	FLOOR	STD	STANDARD
FPR	FIBER REINFORCED PLASTIC	STL	STEEL
FR	FIRE RATED	STRUCT	STRUCTURAL, STRUCTURE
FRT	FIRE RETARDANT TREATED	SYS	SYSTEM
FT	FLOOR TILE	T	TREAD
FT	FIRE TREATED	T&G	TONGUE AND GROOVE
FTG	FOOTING	TEMP	TEMPORARY
G	GAUGE	TH	THRESHOLD
GA	GAUGE	TL	TWIST LOCK
GALV	GALVANIZED	TR	TRANSITION
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GRC	GLASS-REINFORCED CONCRETE	U	UNLESS NOTED OTHERWISE
GRG	GLASS-REINFORCED GYPSUM	UNO	UNLESS NOTED OTHERWISE
GWB	GYPSUM BOARD	UPH	UPHOLSTERY
H	HOSE BIBB	UR	URINAL
HB	HOSE BIBB	V	VARIABLE
HC	HOLLOW CORE	VAR	VARIABLE
HDR	HEADER	VB	VINYL BASE
HM	HOLLOW METAL	VCT	VINYL COMPOSITION TILE
HORIZ	HORIZONTAL	VERT	VERTICAL
HPC	HIGH PERFORMANCE COATING	VEST	VESTIBULE
HW	HOT WATER	VIF	VERIFY IN FIELD
HWD	HARDWARE	VWC	VINYL WALL COVERING
HWT	HOT WATER TANK	W	WIDE, WIDTH
I	INSIDE DIAMETER	W	WIDE, WIDTH
ID	INSIDE DIAMETER	WO	WITHOUT
IN WG	INCH OF WATER GAUGE	WB	WOOD BASE
INSUL	INSULATION	WC	WATER CLOSET
INT	INTERIOR	WCV	WALL COVERING
INV	INVERT	WD	WOOD
J	JANITORS CLOSET	WDT	WINDOW TREATMENT
JAN CL	JANITORS CLOSET	WF	WOOD FLOORING
JT	JOINT	WOM	WALKOFF MAT
L	LAMINATE	WP	WATERPROOF
LAM	LAMINATE	WT	WALKOFF MAT
LAV	LAVATORY		
LBS	POUNDS		
LF	LINEAR FEET		
LLH	LONG LEG HORIZONTAL		

GENERAL NOTES:

- ALL GENERAL NOTES PERTAIN TO ALL ARCHITECTURAL (A-SERIES) DRAWINGS IN THIS SET
GENERAL
- DEFINITIONS: "PROVIDE" MEANS FURNISH AND INSTALL. SUPPLY LABOR AND MATERIALS TO RESULT IN A FINISHED AND/OR OPERABLE SYSTEM.
 - CONTRACTOR RESPONSIBILITIES:
 - MATERIALS, CONSTRUCTION METHODS INCLUDING BUT NOT LIMITED TO LAYOUT, COORDINATION, SCHEDULE AND CONSTRUCTION SITE ACCESS AND WORK.
 - DAILY CLEANING: KEEP SITE FREE FROM WASTE, RUBBISH, AND DEBRIS. REMOVE DAILY. WHEN WORK IS COMPLETE, LEAVE THE PREMISES BROOM CLEAN AND CLEAN FINISHED SURFACES, FIXTURES, GLASS, STOREFRONT, ETC.
 - FINAL CLEANING: PRIOR TO PUNCHLIST INSPECTION BROOM CLEAN ALL HARD SURFACE FLOORS. VACUUM ALL CARPETING AND WIPE DOWN ALL HORIZONTAL AND GLASS SURFACES PROVIDING A DUST FREE SURFACE.
 - TEMPORARY PROTECTION IS REQUIRED TO MAINTAIN ONGOING BUILDING OPERATIONS, EXITING PATHS, DUST CONTROL AND OCCUPANT SAFETY. IDENTIFY THE REQUIREMENTS FOR TEMPORARY PROTECTION AND PROJECT PHASING. COORDINATE WITH OWNER FOR OTHER REQUIREMENTS.
 - COORDINATE STARTUP AND ADJUSTING OF EQUIPMENT AND OPERATING COMPONENTS. START EQUIPMENT AND OPERATING COMPONENTS AND TEST TO CONFIRM PROPER OPERATION AND CONTROL. REMOVE MALFUNCTIONING UNITS. REPLACE WITH NEW UNITS, AND RETEST.
 - CLOSEOUT DOCUMENTS: CERTIFICATE OF RELEASE FROM THE AUTHORITY OF JURISDICTION AND INSURANCE FOR CONTINUING COVERAGE, WARRANTIES, TEST & INSPECTION RESULTS AND OPERATION, EMERGENCY & MAINTENANCE MANUALS. ALL METAL STUD CROSS BRACING IS CONSIDERED DELEGATED DESIGN AND IS THE RESPONSIBILITY OF THE TRADE CONTRACTOR TO PROVIDE SEALED ENGINEERING DRAWINGS.
 - EXISTING CONDITIONS: REVIEW EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK AND REPORT DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
 - CONTRACT DOCUMENTS:
 - PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES ARE COMPLEMENTARY. PLAN DRAWINGS WILL TAKE PRECEDENCE OVER ELEVATION, SECTION AND DETAILS DRAWINGS IN ANY CONFLICTS OF HORIZONTAL DIMENSIONS. DETAIL PLAN DRAWINGS WILL TAKE PRECEDENCE OVER LARGER SCALE PLANS IN ANY CONFLICTS WITH HORIZONTAL DIMENSIONS. WALL AND BUILDING SECTIONS WILL TAKE PRECEDENCE OVER PLAN DRAWING AND DETAILS IN ANY CONFLICTS WITH VERTICAL DIMENSIONS. DETAILS AND WALL SECTIONS WILL TAKE PRECEDENCE OVER ELEVATION AND PLAN DRAWINGS IN ANY CONFLICTS WITH MATERIAL DESCRIPTION. SCHEDULES WILL TAKE PRECEDENCE OVER OTHER ARCHITECTURAL DRAWINGS IN ANY CONFLICTS WITH WALL, FLOOR AND CEILING FINISHES AND DOOR, DOOR HARDWARE AND FENESTRATION INFORMATION.
 - DRAWINGS PREPARED BY THE ARCHITECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, BERGMANN SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
 - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
- FIELD CONDITIONS
- REPAIR: EXISTING SURFACES TO REMAIN IMPACTED BY DEMOLITION TO MATCH EXISTING ADJACENT SURFACES.
 - DISCREPANCIES: NOTIFY ARCHITECT OF EXISTING DAMAGED OR DETERIORATED BUILDING ELEMENTS REVEALED DURING DEMOLITION OR CONSTRUCTION PRIOR TO PROCEEDING WITH ADDITIONAL WORK IN THE AREA.
 - HAZARDOUS MATERIALS: A PRE-DEMOLITION ASBESTOS SURVEY IS REQUIRED PRIOR TO DEMOLITION OF SUSPECT BUILDING MATERIALS IN ACCORDANCE WITH OSHA 29 CFR 1926.1101, AND USEPA 40 CFR 61.145. A PRE-DEMOLITION ASBESTOS SURVEY IS NOT REQUIRED PER 12 NYCRR 56 FOR BUILDINGS OR STRUCTURES FOR WHICH THE ORIGINAL CONSTRUCTION COMMENCED ON OR AFTER JANUARY 1, 1974. THERMAL SYSTEM INSULATIONS AND SURFACING MATERIALS FOUND IN BUILDINGS CONSTRUCTED NO LATER THAN 1980 SHALL BE CONSIDERED PRESUMED ASBESTOS CONTAINING MATERIALS (PACM) UNLESS PROVEN OTHERWISE BY APPROPRIATE BULK SAMPLING AND LABORATORY ANALYSIS CONDUCTED BY APPROVED LICENSED PERSONNEL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH ALL REGULATIONS. THE LANDLORD SHALL PROVIDE COPIES OF ANY ASBESTOS SURVEYS THEY HAVE ON FILE AT THE REQUEST OF THE CONTRACTOR.
 - SAFETY: FOLLOW THE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) 29 CFR 1926.62, LEAD EXPOSURE IN CONSTRUCTION REGULATION. MATERIALS HAVING A CONCENTRATION EQUAL OR GREATER THAN 0.5% BY WEIGHT IN LEAD ARE CONSIDERED TO BE LEAD BASED. HOWEVER, OSHA CONSIDERS ANY AMOUNT OF LEAD ENCOUNTERED DURING CONSTRUCTION TO BE OF CONCERN. THE REGULATION STATES THAT THE EMPLOYER SHALL ASSURE THAT NO EMPLOYEE IS EXPOSED TO LEAD AT CONCENTRATIONS GREATER THAN FIFTY MICROGRAMS PER CUBIC METER OF AIR (50 MG/M³) AVERAGED OVER AN 8-HOUR PERIOD. CONTRACTORS SHALL DETERMINE AND TAKE APPROPRIATE MEASURES IF THEY SUSPECT THE PRESENCE OF LEAD.
- FINISHES
- GENERAL: FINISHED FLOORS EXTEND INTO TOE SPACES UNDER CASEWORK ON LAB PROJECTS, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
 - PRODUCTS:
 - INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.N.O.
 - PAINT DESIGNATIONS INDICATE COLOR ONLY. REFER TO SPECIFICATION FOR FINISH TYPE.
 - PROVIDE SELF LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
 - PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION.
 - EXECUTION:
 - ADHERE TO MATERIAL OR SYSTEM MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND TOLERANCES. ANY VARIATIONS FROM WRITTEN INSTALLATION AND INSTRUCTIONS MUST RECEIVE WRITTEN APPROVAL FROM THE MANUFACTURER AND MAINTAIN MANUFACTURER'S WARRANTIES.
 - PRIOR TO STARTING THE INSTALLATION OF A MATERIAL OR SYSTEM, VERIFY THE SUBSTRATE IS WITHIN THE MANUFACTURER'S REQUIRED TOLERANCES AND REQUIRED CLEARANCES ARE PROVIDED. NOTIFY THE CONSTRUCTION MANAGER OR GENERAL CONTRACTOR AND DESIGN PROFESSIONAL IN WRITING WHEN THE SUBSTRATE IS NOT WITHIN MANUFACTURER'S TOLERANCE OR REQUIRED CLEARANCES ARE NOT PROVIDED. PROCEEDING WITH INSTALLATION SIGNIFIES ACCEPTANCE OF THE SUBSTRATE AND CLEARANCES.
 - PROVIDE MANUFACTURER'S REQUIRED ENVIRONMENTAL TESTS FOR MOISTURE, VAPOR DRIVE, RELATIVE HUMIDITY AND TEMPERATURE TO VERIFY THESE ARE WITHIN THE MATERIAL MANUFACTURER'S TOLERANCE PRIOR TO INSTALLING MATERIALS.
 - MATERIAL AND INSTALLATION SHALL CONFORM WITH LOCAL, STATE AND NATIONAL BUILDING CODES AND CONSTRUCTION STANDARDS ENFORCED BY THE AUTHORITY HAVING JURISDICTION.
 - REQUIRED DOCUMENTATION:
 - SAFETY DATA SHEETS.
 - PROVIDE SAMPLES WHEN SPECIFICALLY REQUESTED IN THESE DOCUMENTS.
 - PROVIDE SHOP DRAWINGS OF MATERIALS AND SYSTEMS, WHICH WILL BE BUILT INTO AND MUST BE COORDINATED WITH OTHER CONSTRUCTION. SHOP DRAWINGS SHALL CONSIST OF PLAN, ELEVATION, SECTION VIEWS AND DETAILS AS REQUIRED TO COMMUNICATE FINAL APPEARANCE AND CONNECTION TO ADJOINING CONSTRUCTION.
 - PROTECT ADJACENT SURFACES DURING WORK.
 - REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
 - FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER.
 - DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LOGGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS TO BE BROOM CLEAN BEFORE PAINTING IS STARTED.
 - EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
 - WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
 - WHEN INSTALLING CARPET FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION AND MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
 - WHEN INSTALLING TILE FOLLOW THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS AND MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
 - CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
 - FLOOR MATERIAL TRANSITIONS SHALL OCCUR BELOW THE DOOR.

WALLS

- DIMENSIONS:
 - STUD WALLS ARE TO FACE OF STUD, UNLESS OTHERWISE INDICATED IN A.C. OR A.D. BELOW.
 - MASONRY WALLS ARE TO FACE OF MASONRY.
 - EXISTING CONSTRUCTION ARE TO FINISHED FACE OF CONSTRUCTION.
 - WHERE NOTED AS "CLR" DIMENSIONS ARE TO FINISHED SURFACE AND ARE CRITICAL FOR ACCESSIBILITY REQUIREMENTS OR BUILT-IN FURNISHINGS.
- TYPES:
 - WALLS NOT INDICATED WITH A WALL TYPE SHALL BE TYPE M30.
 - COLUMN ENCLOSURES, CHASES AND ENCLOSED UNINHABITABLE SPACES SHALL BE WALL TYPE M31, UNLESS NOTED OTHERWISE.
 - BRACING: PROVIDE CHANNEL COLD ROLLED STEEL (CRSS) BRACING AT ALL METAL STUD WALLS. INSTALL TWO ROWS OF BRACING 4'-0" O.C. FOR WALLS UP TO 13'-0" HIGH.
 - PROVIDE (2) #10-7/16" HEX HEAD SHEET METAL SCREWS AT EACH STUD/TRACK CONNECTION AT ALL WALLS, BULK HEADS & SOFFITS NOT EXTENDING FLOOR TO DECK.
 - PROVIDE DEFLECTION TRACK OR CLIP AT TOP OF METAL STUD WALLS THAT EXTEND TO THE UNDERSIDE OF STRUCTURAL MEMBERS OR FLOOR/ROOF DECK.
 - METAL STUD WALLS IN WHICH STUDS DO NOT EXTEND TO DECK ABOVE SHALL BE LATERALLY BRACED AT 45 DEGREES TO THE STRUCTURE ABOVE WITH 3 5/8" x 20 GA. STUDS @ 48" O.C. MAX., AND AT ENDS OF SUCH WALLS WHICH DO NOT INTERSECT OTHER WALLS.
 - PROVIDE FULL HEIGHT DOUBLE STUDS AT DOOR AND WINDOW JAMBS.
 - FIRE-RESISTANT JOINT SYSTEMS: AT FIRE-RESISTANT RATED WALLS, FLOORS OR FLOOR/CEILING ASSEMBLIES, AND ROOFS OR ROOF/CEILING ASSEMBLIES, PROVIDE AN APPROVED TESTED JOINT ASSEMBLY PROVIDING THE MINIMUM TIME AND TEMPERATURE RISE AT THE WALL, FLOOR, OR ROOF SUITABLE FOR THE CONSTRUCTION WHERE THE SYSTEM IS TO BE INSTALLED.
 - THE BOTTOM EDGE OF GYPSUM WALL BOARD SHALL BE INSTALLED 3/8" ABOVE THE FLOOR AND SEALED AS NOTED IN WALL TYPES.
- RATINGS:
 - SMOKE WALLS AND SMOKE BARRIERS: SMOKE WALLS AND SMOKE BARRIERS MUST FORM A COMPLETE BARRIER TO LIMIT THE TRANSFER OF SMOKE, INCLUDING PERIMETER DETAILS, PENETRATIONS, AND AS REQUIRED BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES. THE MEMBRANE IS TO BE CONTINUOUS THROUGH ALL CONCEALED SPACES.
 - RECESSED CABINETS, OUTLET BOXES, AND OTHER PENETRATIONS MUST BE SEALED.
 - OPENINGS AROUND PENETRATIONS ARE TO BE SEALED.
 - ALL EXPOSED JOINTS, ANGLES, AND ABUTMENTS IN THE SYSTEM, INCLUDING FLOOR AND ABOVE CEILING MUST BE TAPED AND FINISHED.
 - SEAL THE INTERFACE BETWEEN WALLS AND DOOR JAMBS, OR SIDELIGHT FRAMES.
 - FIRE WALLS AND FIRE BARRIERS: FIRE WALLS AND FIRE BARRIERS MUST BE SIMILARLY CONSTRUCTED AS A COMPLETE BARRIER TO RESIST THE SPREAD OF SMOKE AND FIRE. PENETRATIONS MUST BE SEALED AND LABELED WITH AN APPROVED FIRE RESISTANT JOINT SYSTEM. INSTALL A FIRE RESISTANT JOINT SYSTEM AT THE HEAD AND FLOOR CONDITION OF FIRE RATED WALLS AND BARRIERS.
 - FIRE AND SMOKE WALL / BARRIER / WALLS LABELING:
 - WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL:
 - BE LOCATED WITHIN 15 FEET (4572 MM) OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET (9144 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
 - INCLUDE LETTERING NOT LESS THAN 3 INCHES (76 MM) IN HEIGHT WITH A MINIMUM 3/8-INCH (9.5 MM) STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS," OR OTHER WORDING.
 - ACOUSTICAL WALLS: WALLS INDICATED WITH ACOUSTICAL BATT, AND/OR A GIVEN AN STC RATING, SHALL BE CONSTRUCTED TO MINIMIZE SOUND TRANSMISSION AS FOLLOWS:
 - PROVIDE ACOUSTICAL SEALANT AT ALL FLOOR AND HEAD LEVELS, EACH SIDE OF THE WALLS.
 - SET TRACK IN 3 CONTINUOUS BEADS OF ACOUSTICAL SEALANT.
 - EXTEND SOUND BATTS THOROUGH ANY INTERSECTING WALLS.
 - STAGGER OUTLETS A MINIMUM OF 24 INCHES HORIZONTAL. DO NOT INSTALL MORE THAN ONE OUTLET IN A COMMON STUD CAVITY. SEAL JOINTS AROUND OUTLETS WITH ACOUSTICAL SEALANT.
- GYPSUM BOARD WALL COMPONENTS AND ACCESSORIES:
 - WALL TYPES DO NOT INDICATE FINAL FINISHES. REFER TO FINISH PLANS AND FINISH SCHEDULE.
 - GYPSUM BOARD SHALL BE TYPE "X" FIRE RATED WITH:
 - LEVEL 1 FINISH AT JOINTS WHICH WILL REMAIN CONCEALED. PROVIDE GALVANIZED STEEL CORNER BEADS AT CORNERS.
 - LEVEL 3 FINISH WHERE WALLS EXPOSED TO VIEW SCHEDULED FOR PAINT IN SERVICE SPACES (eg. TELE / DATA CLOSETS, MECHANICAL ROOMS, JANITOR CLOSETS, STORAGE ROOMS).
 - LEVEL 4 FINISH WHERE EXPOSED TO VIEW UPON PROJECT COMPLETION U.N.O.
 - LEVEL 5 FINISH AT GRAPHIC CORRIDOR, AS WELL AS DRY ERASE AND CHALK BOARD PAINTED AREAS. REFER TO FINISH LOCATION ON PLANS, AND COORDINATE WITH DESIGNER IN THE FIELD.
 - PROVIDE MOISTURE / MOLD / ABUSE RESISTANT GYPSUM BOARD AT WALLS IN TOILET ROOMS, JANITORS CLOSETS AND ANY ROOM WHERE MOISTURE CONDITIONS WILL OCCUR AND NOT RECEIVING TILE FINISH.
 - PROVIDE GLASS MATT GYPSUM BOARD AT WALLS DIRECTLY ADJACENT TO LIVING WALL ELEMENT AND AT ALL WET AREAS (SHOWER ROOMS, COMMUNAL KITCHEN/DISHWASHER, ETC.) GLASS MATT GYPSUM BOARD SHALL RECEIVE FIBERGLASS TAPE AND FINISH AS RECOMMENDED BY MANUFACTURER.
 - METAL TRIM:
 - EXPOSED METAL J-TRIM TO BE COMPLETELY COVERED WITH SKIM COAT
 - NON-METALIC J-TRIM OR OTHER SHAPES ARE NOT ACCEPTABLE, UNLESS OTHERWISE NOTED
 - LOCATIONS WHERE GYPSUM BOARD WALLS TERMINATE AT DISSIMILAR MATERIALS, PROVIDE A FINISH-ABLE METAL END TRIM AND A 1/4" GAP BETWEEN TRIM AND ADJACENT MATERIAL. FILL GAP WITH BACKER ROD AND SEALANT.
 - PROVIDE SOLID FIRE TREATED WOOD BLOCKING IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO SUPPORT WALL MOUNTED MILLWORK AND CASEWORK, FURNISHINGS, RAILINGS, GRAB BARS, TOILET & BATH ACCESSORIES OR ANY OTHER WALL MOUNTED ITEMS INDICATED ON THESE DRAWINGS REQUIRING BLOCKING. REFER TO DIAGRAMS ON DRAWING A-### FOR MOUNTING LOCATIONS OF GRAB BARS.
 - PROVIDE PAPER FACED "L" SHAPED TAPE ON TRIM AT THE TOP OF ALL GYP. BD. THAT ABUTS SUSPENDED CEILING AND EXPOSED STRUCTURE.
- CONTROL JOINTS:
 - PROVIDE IN GYPSUM WALL BOARD CONSTRUCTION AS FOLLOWS:
 - PROVIDE CONTROL JOINTS IN EXPANSION OF WALLS AT MAXIMUM 25-FOOT INTERVALS, AND FULL HEIGHT. CONTROL JOINTS ARE RECOMMENDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO TOP OF WALL.
 - CONTROL JOINTS ARE REQUIRED IN CEILINGS TO LIMIT AREAS TO 2,500 SQUARE FEET. INSTALL CONTROL JOINTS IN CEILINGS TO LIMIT DIMENSIONS IN EITHER DIRECTION TO 50 FEET MAXIMUM WITH PERIMETER RELIEF. 30 FEET MAXIMUM OTHERWISE. INSTALL CONTROL JOINTS WHERE CEILING FRAMING OR FURRING CHANGES DIRECTION.
 - PROVIDE CONTROL JOINTS IN GYPSUM WALL BOARD WHERE THE UNDERLYING STRUCTURE CONTAINS A CONTROL OR MOVEMENT JOINT.
 - IN AN ACOUSTICALLY RATED ASSEMBLY, PROVIDE ACOUSTICALLY TESTED CONTROL JOINT ASSEMBLY WITH A STC RATING MINIMALLY EQUAL TO THE WALLS STC RATING. COORDINATE REQUIRED LOCATIONS ON FEATURE WALLS WITH DESIGNER IN THE FIELD. METAL TRIM: EXPOSED METAL OR NON-METALLIC J-MOLD IS NOT ACCEPTABLE.
 - PROVIDE CONTROL JOINTS AT ALL BUILDING CONTROL OR EXPANSION JOINTS.

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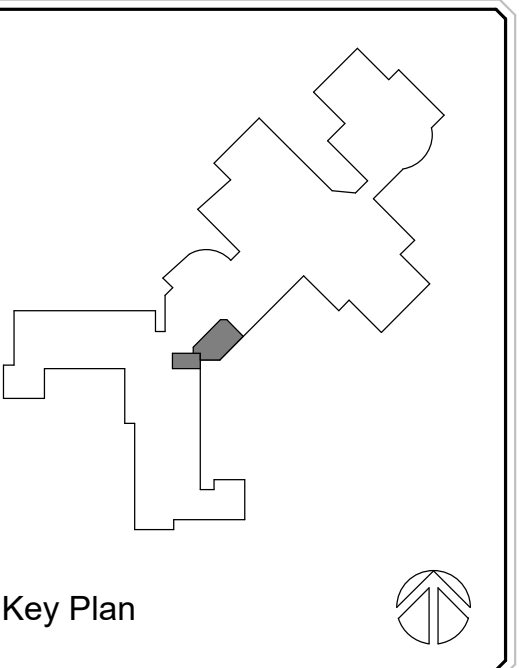
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SCALE: AS SHOWN DATE: 4/11/25 DRAWN BY: E POST CHECKED BY: B HUYLER
PROJECT NUMBER: 25004490A DRAWING NAME: REVIEWED BY: Approver

SHEET TITLE: GENERAL NOTES AND LEGENDS
SHEET NUMBER: A001

GENERAL REQUIREMENTS:

ALLOWANCES:

- A. AT THE EARLIEST PRACTICAL DATE AFTER AWARD OF THE CONTRACT, ADVISE ARCHITECT OF THE DATE WHEN FINAL SELECTION, OR PURCHASE AND DELIVERY, OF EACH PRODUCT OR SYSTEM DESCRIBED BY AN ALLOWANCE MUST BE COMPLETED BY THE OWNER TO AVOID DELAYING THE WORK.
B. OBTAIN PROPOSALS FOR EACH ALLOWANCE FOR USE IN MAKING FINAL SELECTIONS. INCLUDE RECOMMENDATIONS THAT ARE RELEVANT TO PERFORMING THE WORK.
C. SUBMIT PROPOSALS FOR PURCHASE OF PRODUCTS OR SYSTEMS INCLUDED IN ALLOWANCES IN THE FORM SPECIFIED FOR CHANGE ORDERS. THIS ALLOWANCE INCLUDES MATERIAL COST, RECEIVING, HANDLING, AND INSTALLATION AND CONTRACTOR OVERHEAD AND PROFIT.
D. COORDINATE QUANTITY ALLOWANCE ADJUSTMENT WITH CORRESPONDING UNIT-PRICE REQUIREMENTS "UNIT PRICES:"
1. QUANTITY ALLOWANCE NO.1: INCLUDE XXXX (SF-LF-CY) OF XXXXXXXXXXXXXXXXXXXX INSTALLED.
2. QUANTITY ALLOWANCE NO.2: INCLUDE XXXX (SF-LF-CY) OF XXXXXXXXXXXXXXXXXXXX INSTALLED.
E. CONTINGENCY ALLOWANCE: INCLUDE A CONTINGENCY ALLOWANCE OF \$X,XXX.00 FOR USE ACCORDING TO OWNER'S WRITTEN INSTRUCTIONS.

UNIT PRICES:

- A. UNIT PRICE IS AN AMOUNT INCORPORATED INTO THE AGREEMENT, APPLICABLE DURING THE DURATION OF THE WORK AS A PRICE PER UNIT OF MEASUREMENT FOR MATERIALS, EQUIPMENT, OR SERVICES, OR A PORTION OF THE WORK, ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BY APPROPRIATE MODIFICATION, IF THE SCOPE OF WORK OR ESTIMATED QUANTITIES OF WORK REQUIRED BY THE CONTRACT DOCUMENTS ARE INCREASED OR DECREASED.
B. UNIT PRICES INCLUDE ALL NECESSARY MATERIAL, PLUS COST FOR DELIVERY, INSTALLATION, INSURANCE, APPLICABLE TAXES, OVERHEAD, AND PROFIT.
C. MEASUREMENT AND PAYMENT: SEE QUANTITY ALLOWANCE FOR WORK THAT REQUIRES ESTABLISHMENT OF UNIT PRICES. UNITS OF MEASUREMENT AND PAYMENT FOR UNIT PRICES ARE LISTED IN THAT SECTIONS.
D. OWNER RESERVES THE RIGHT TO REJECT CONTRACTOR'S MEASUREMENT OF WORK-IN-PLACE THAT INVOLVES USE OF ESTABLISHED UNIT PRICES AND TO HAVE THIS WORK MEASURED, AT OWNER'S EXPENSE, BY AN INDEPENDENT SURVEYOR ACCEPTABLE TO CONTRACTOR.
E. UNIT PRICE NO. 1 - QUANTITY ALLOWANCE NO. 1: PROVIDE COST PER UNIT LISTED FOR ADDING TO OR DEDUCTING FROM THE CONTRACT AMOUNT.
F. UNIT PRICE NO. 2 - QUANTITY ALLOWANCE NO. 2: PROVIDE COST PER UNIT LISTED FOR ADDING TO OR DEDUCTING FROM THE CONTRACT AMOUNT.

ALTERNATES:

- A. ALTERNATE: AN AMOUNT PROPOSED BY BIDDERS AND STATED ON THE BID FORM FOR CERTAIN WORK DEFINED IN THE BIDDING REQUIREMENTS THAT MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID AMOUNT IF THE OWNER DECIDES TO ACCEPT A CORRESPONDING CHANGE EITHER IN THE AMOUNT OF CONSTRUCTION TO BE COMPLETED OR IN THE PRODUCTS, MATERIALS, EQUIPMENT, SYSTEMS, OR INSTALLATION METHODS DESCRIBED IN THE CONTRACT DOCUMENTS.
B. INCLUDE AS PART OF EACH ALTERNATE, MISCELLANEOUS DEVICES, ACCESSORY OBJECTS, AND SIMILAR ITEMS INCIDENTAL TO OR REQUIRED FOR A COMPLETE INSTALLATION WHETHER INDICATED AS PART OF ALTERNATE. EXECUTE ACCEPTED ALTERNATES UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.
C. PROVIDE ALTERNATE PRICING AS FOLLOWS:
1. ALTERNATE NO 1: BASE BID, (DESCRIBE MATERIAL OR SYSTEM), ALTERNATE BID, (DESCRIBE MATERIAL OR SYSTEM)
2. ALTERNATE NO 2: BASE BID, (DESCRIBE MATERIAL OR SYSTEM), ALTERNATE BID, (DESCRIBE MATERIAL OR SYSTEM)

SUBSTITUTION PROCEDURES:

- A. SUBSTITUTIONS FOR CAUSE: CHANGES PROPOSED BY CONTRACTOR THAT ARE REQUIRED DUE TO CHANGED PROJECT CONDITIONS, SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS.
B. SUBSTITUTIONS FOR CONVENIENCE: CHANGES PROPOSED BY CONTRACTOR OR OWNER THAT ARE NOT REQUIRED IN ORDER TO MEET OTHER PROJECT REQUIREMENTS BUT MAY OFFER ADVANTAGE TO CONTRACTOR OR OWNER. SUBSTITUTIONS FOR CONVENIENCE ARE ALLOWED ONLY BY APPROVAL OF THE OWNER OR OWNER'S AGENT.
C. SUBMIT REQUEST FOR CONSIDERATION. IDENTIFY PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED. INCLUDE PRODUCT, MATERIAL OR SYSTEM NAME AND AFFECTED DRAWING NUMBERS AND TITLES.
D. EXECUTE ACCEPTED SUBSTITUTIONS UNDER THE SAME CONDITIONS AS OTHER WORK OF THE CONTRACT.
E. DOCUMENTATION: SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS AND THE FOLLOWING, AS APPLICABLE:
1. COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.
2. CONTRACTOR'S CERTIFICATION THAT PROPOSED SUBSTITUTION COMPLIES WITH REQUIREMENTS IN THE CONTRACT DOCUMENTS, EXCEPT AS INDICATED IN SUBSTITUTION REQUEST, IS COMPATIBLE WITH RELATED MATERIALS AND IS APPROPRIATE FOR APPLICATIONS INDICATED.
3. STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION, OR INSTALLATION METHOD CANNOT BE PROVIDED, IF APPLICABLE.
4. COORDINATION OF INFORMATION, INCLUDING A LIST OF CHANGES OR REVISIONS NEEDED TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION PERFORMED BY OWNER AND SEPARATE CONTRACTORS THAT WILL BE NECESSARY TO ACCOMMODATE PROPOSED SUBSTITUTION.
5. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES. INCLUDE DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF PROPOSED SUBSTITUTIONS WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES MAY INCLUDE ATTRIBUTES, SUCH AS PERFORMANCE, WEIGHT, SIZE, DURABILITY, VISUAL EFFECT, SUSTAINABLE DESIGN CHARACTERISTICS, WARRANTIES, AND SPECIFIC FEATURES AND REQUIREMENTS INDICATED. INDICATE DEVIATIONS, IF ANY, FROM THE WORK SPECIFIED.
6. CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF FAILURE OF PROPOSED SUBSTITUTION TO PRODUCE INDICATED RESULTS.
F. ARCHITECT'S ACTION: IF NECESSARY, ARCHITECT WILL REQUEST ADDITIONAL INFORMATION OR DOCUMENTATION FOR EVALUATION WITHIN 7 DAYS OF RECEIPT OF A REQUEST FOR SUBSTITUTION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTANCE OR REJECTION OF PROPOSED SUBSTITUTION WITHIN 14 DAYS OF RECEIPT OF REQUEST, OR 7 DAYS OF RECEIPT OF ADDITIONAL INFORMATION OR DOCUMENTATION.
G. ARCHITECT WILL CONSIDER CONTRACTOR'S REQUEST FOR SUBSTITUTION WHEN THE LISTED REQUIREMENTS ARE SATISFIED. IF THE LISTED REQUIREMENTS ARE NOT SATISFIED, ARCHITECT WILL RETURN REQUESTS WITHOUT ACTION, EXCEPT TO RECORD NONCOMPLIANCE WITH LISTED REQUIREMENTS.
H. FORMS OF ACCEPTANCE: CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE, OR ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS FOR MINOR CHANGES IN THE WORK.

SUBMITTAL REQUIREMENTS:

- A. PREPARE SUBMITTAL SCHEDULE: SUBMIT, AS AN ACTION SUBMITTAL, A LIST OF SUBMITTALS, ARRANGED IN CHRONOLOGICAL ORDER BY DATES REQUIRED BY CONSTRUCTION SCHEDULE. INCLUDE TIME REQUIRED FOR REVIEW, ORDERING, MANUFACTURING, FABRICATION, AND DELIVERY WHEN ESTABLISHING DATES. INCLUDE ADDITIONAL TIME FOR MAKING CORRECTIONS OR REVISIONS TO SUBMITTALS NOTED BY ARCHITECT AND CONTRACTOR OR CONSTRUCTION MANAGER AND ADDITIONAL TIME FOR HANDLING AND REVIEWING SUBMITTALS REQUIRED BY THOSE CORRECTIONS.
B. PREPARE AND SUBMIT SUBMITTALS AS INCLUDED IN THE SUBMITTAL SCHEDULED.
C. EMAIL: PREPARE SUBMITTALS AS PDF PACKAGE AND TRANSMIT TO ARCHITECT BY SENDING VIA EMAIL. INCLUDE PDF TRANSMITTAL FORM. INCLUDE INFORMATION IN EMAIL SUBJECT LINE AS REQUESTED BY ARCHITECT.
D. WEB-BASED PROJECT MANAGEMENT SOFTWARE: PREPARE SUBMITTALS IN PDF FORM, AND UPLOAD TO WEB-BASED PROJECT MANAGEMENT SOFTWARE WEBSITE. ENTER REQUIRED DATA IN WEB-BASED SOFTWARE SITE TO FULLY IDENTIFY SUBMITTAL.
E. ACTION SUBMITTALS AND INFORMATIONAL SUBMITTALS: REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS. MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT.
F. USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S AND CONTRACTOR'S OR CONSTRUCTION MANAGER'S ACTION STAMP.
G. SUBMITTAL INFORMATION: INCLUDE THE FOLLOWING INFORMATION IN EACH SUBMITTAL:
1. PROJECT NAME, DATE AND INDICATION OF FULL OR PARTIAL SUBMITTAL.
2. ARCHITECT'S AND CONTRACTOR'S AND/OR CONSTRUCTION MANAGER'S, FIRM OR ENTITY THAT PREPARED SUBMITTAL AND SUBCONTRACTOR, MANUFACTURER, AND SUPPLIER NAMES.
3. NUMBER AND TITLE OF SPECIFICATION SECTION, WITH PARAGRAPH NUMBER AND GENERIC NAME FOR EACH OF MULTIPLE ITEMS.
4. MATERIAL OR SYSTEM NAME AND DRAWING NUMBER AND DETAIL REFERENCES, AS APPROPRIATE.
5. IDENTIFY OPTIONS REQUIRING SELECTION BY ARCHITECT.
6. LOCATION(S) WHERE PRODUCT IS TO BE INSTALLED, AS APPROPRIATE AND OTHER NECESSARY INFORMATION.
7. ON EACH SUBMITTAL, CLEARLY INDICATE DEVIATIONS FROM REQUIREMENTS IN THE CONTRACT DOCUMENTS, INCLUDING MINOR VARIATIONS AND LIMITATIONS; INCLUDE RELEVANT ADDITIONAL INFORMATION AND REVISIONS, OTHER THAN THOSE REQUESTED BY ARCHITECT AND CONTRACTOR OR CONSTRUCTION MANAGER ON PREVIOUS SUBMITTALS. INDICATE BY HIGHLIGHTING ON EACH SUBMITTAL OR NOTING ON ATTACHED SEPARATE SHEET.
H. INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR RESUBMITTAL WITHOUT REVIEW.
I. ARCHITECT'S ACTION: ARCHITECT WILL REVIEW INFORMATION OR DOCUMENTATION NOTIFY CONTRACTOR OF ACCEPTANCE REQUEST FOR MORE INFORMATION OR REJECTION WITHIN 14 DAYS OF RECEIPT. ARCHITECT WILL REVIEW RESUBMITTAL WITHIN 7 DAYS OF RECEIPT.
J. SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS WILL BE RETURNED BY ARCHITECT WITHOUT ACTION.

QUALITY REQUIREMENTS:

- A. CONFLICTING STANDARDS AND OTHER REQUIREMENTS: IF COMPLIANCE WITH TWO OR MORE STANDARDS OR REQUIREMENTS IS SPECIFIED AND THE STANDARDS OR REQUIREMENTS ESTABLISH DIFFERENT OR CONFLICTING REQUIREMENTS FOR MINIMUM QUANTITIES OR QUALITY LEVELS, INFORM THE ARCHITECT REGARDING THE CONFLICT AND OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. REFER CONFLICTING REQUIREMENTS THAT ARE DIFFERENT, BUT APPARENTLY EQUAL, TO ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
B. PREPARE AND SUBMIT CERTIFIED WRITTEN REPORTS REQUIRED. INCLUDE THE FOLLOWING:
1. PROJECT TITLE AND NUMBER AND DATE OF ISSUE. RECORD OF TEMPERATURE AND WEATHER CONDITIONS AT TIME OF SAMPLE TAKING AND TESTING AND INSPECTION. NAME AND SIGNATURE OF LABORATORY INSPECTOR.
2. NAME, ADDRESS, TELEPHONE NUMBER, AND EMAIL ADDRESS OF TESTING AGENCY
3. DATES AND LOCATIONS OF SAMPLES AND TESTS OR INSPECTIONS.
4. TEST AND INSPECTION RESULTS AND AN INTERPRETATION OF TEST RESULTS. COMMENTS OR PROFESSIONAL OPINION ON WHETHER TESTED OR INSPECTED WORK COMPLIES WITH THE CONTRACT DOCUMENT REQUIREMENTS. RECOMMENDATIONS ON RETESTING AND REINSPECTING.
C. MANUFACTURER QUALIFICATIONS: A FIRM EXPERIENCED IN MANUFACTURING PRODUCTS OR SYSTEMS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS, AS APPLICABLE. PROCURE PRODUCTS FROM MANUFACTURERS ABLE TO MEET QUALIFICATION REQUIREMENTS, WARRANTY REQUIREMENTS, AND TECHNICAL OR FACTORY-AUTHORIZED SERVICE REPRESENTATIVE REQUIREMENTS.
D. FABRICATOR QUALIFICATIONS: A FIRM EXPERIENCED IN PRODUCING PRODUCTS SIMILAR TO THOSE INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO PRODUCE REQUIRED UNITS.
E. INSTALLER QUALIFICATIONS: A FIRM OR INDIVIDUAL EXPERIENCED IN INSTALLING, ERECTING, APPLYING, OR ASSEMBLING WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT, WHOSE WORK HAS RESULTED IN CONSTRUCTION WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
F. TESTING AND INSPECTING AGENCY QUALIFICATIONS: AN NRTL, AN NLAB, OR AN INDEPENDENT AGENCY WITH THE EXPERIENCE AND CAPABILITY TO CONDUCT TESTING AND INSPECTION INDICATED, AS DOCUMENTED ACCORDING TO [ASTM E329] <INSERT STANDARD>; AND WITH ADDITIONAL QUALIFICATIONS REQUIRED BY THE CONSTRUCTION DOCUMENTS; AND, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION, THAT IS ACCEPTABLE TO AUTHORITIES.
G. PRECONSTRUCTION TESTING: WHERE TESTING AGENCY IS INDICATED TO PERFORM PRECONSTRUCTION TESTING FOR COMPLIANCE WITH SPECIFIED REQUIREMENTS FOR PERFORMANCE AND TEST METHODS, COMPLY WITH THE FOLLOWING:
1. CONTRACTOR RESPONSIBILITIES INCLUDE THE FOLLOWING: PROVIDE TEST SPECIMENS REPRESENTATIVE OF PROPOSED PRODUCTS AND CONSTRUCTION. SUBMIT SPECIMENS IN A TIMELY MANNER WITH SUFFICIENT TIME FOR TESTING AND ANALYZING RESULTS TO PREVENT DELAYING THE WORK. WHEN TESTING IS COMPLETE, REMOVE TEST SPECIMENS AND TEST ASSEMBLIES, AND MOCKUPS UNLESS NOTED OTHERWISE. DO NOT REUSE PRODUCTS ON PROJECT.
2. TESTING AGENCY RESPONSIBILITIES: SUBMIT A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-ASSURANCE SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM THE CONTRACT DOCUMENTS.
H. MOCKUPS: BEFORE INSTALLING PORTIONS OF THE WORK REQUIRING MOCKUPS, BUILD MOCKUPS FOR EACH FORM OF CONSTRUCTION AND FINISH REQUIRED TO COMPLY WITH THE FOLLOWING REQUIREMENTS, USING MATERIALS INDICATED FOR THE COMPLETED WORK, TO SIZE AND LOCATION INDICATED. DEMONSTRATE THE PROPOSED RANGE OF AESTHETIC EFFECTS AND WORKMANSHIP. NOTIFY ARCHITECT, CONTRACTOR AND CONSTRUCTION MANAGER 7 DAYS IN ADVANCE OF DATES AND TIMES WHEN MOCKUPS WILL BE CONSTRUCTED AND ALLOW 7 DAYS FOR REVIEW AND APPROVAL. OBTAIN THE APPROVAL FROM ARCHITECT, CONTRACTOR AND CONSTRUCTION MANAGER BEFORE STARTING CORRESPONDING WORK, FABRICATION, OR CONSTRUCTION. MAINTAIN MOCKUPS DURING CONSTRUCTION IN AN UNDISTURBED CONDITION AS A STANDARD FOR JUDGING THE COMPLETED WORK. DEMOLISH AND REMOVE MOCKUPS WHEN DIRECTED UNLESS OTHERWISE INDICATED.
I. QUALITY CONTROL:
1. CONTRACTOR RESPONSIBILITIES: TESTS AND INSPECTIONS ARE CONTRACTOR'S RESPONSIBILITY. PERFORM ADDITIONAL QUALITY-CONTROL ACTIVITIES, WHETHER SPECIFIED OR NOT, TO VERIFY AND DOCUMENT THAT THE WORK COMPLIES WITH REQUIREMENTS. ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM QUALITY-CONTROL SERVICES. NOTIFY TESTING AGENCIES AT LEAST [72] HOURS IN ADVANCE OF TIME WHEN WORK THAT REQUIRES TESTING OR INSPECTION WILL BE PERFORMED. COOPERATE WITH AGENCIES AND REPRESENTATIVES PERFORMING REQUIRED TESTS, INSPECTIONS, AND SIMILAR QUALITY-CONTROL SERVICES, AND PROVIDE REASONABLE AUXILIARY SERVICES AS REQUESTED.
2. TESTING AGENCY RESPONSIBILITIES: COOPERATE WITH ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY IN PERFORMANCE OF DUTIES. PROVIDE QUALIFIED PERSONNEL TO PERFORM REQUIRED TESTS AND INSPECTIONS. INTERPRET TESTS AND INSPECTIONS AND STATE IN EACH REPORT WHETHER TESTED AND INSPECTED WORK COMPLIES WITH OR DEVIATES FROM REQUIREMENTS. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
3. CONTRACTOR AND TESTING AGENCY SHALL COORDINATE SEQUENCE OF ACTIVITIES TO ACCOMMODATE REQUIRED QUALITY-ASSURANCE AND QUALITY-CONTROL SERVICES WITH A MINIMUM OF DELAY AND TO AVOID NECESSITY OF REMOVING AND REPLACING CONSTRUCTION TO ACCOMMODATE TESTING AND INSPECTION.
J. SPECIAL TESTS AND INSPECTIONS: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY OR SPECIAL INSPECTOR TO CONDUCT SPECIAL TESTS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION AS THE RESPONSIBILITY OF OWNER AS INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS, AND AS FOLLOWS:
1. VERIFYING THAT MANUFACTURER MAINTAINS DETAILED FABRICATION AND QUALITY-CONTROL PROCEDURES AND REVIEWING THE COMPLETENESS AND ADEQUACY OF THOSE PROCEDURES TO PERFORM THE WORK.
2. NOTIFY ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY PROMPTLY OF IRREGULARITIES OR DEFICIENCIES OBSERVED IN THE WORK DURING PERFORMANCE OF ITS SERVICES.
3. SUBMITTING A CERTIFIED WRITTEN REPORT OF EACH TEST, INSPECTION, AND SIMILAR QUALITY-CONTROL SERVICE TO ARCHITECT, CONTRACTOR OR CONSTRUCTION MANAGER AND COMMISSIONING AUTHORITY WITH COPY TO CONTRACTOR AND TO AUTHORITIES HAVING JURISDICTION. SUBMIT A FINAL REPORT OF SPECIAL TESTS AND INSPECTIONS AT SUBSTANTIAL COMPLETION, WHICH INCLUDES A LIST OF UNRESOLVED DEFICIENCIES.
4. RETESTING AND REINSPECTING CORRECTED WORK.
K. ALL RETESTING/REINSPECTING; REGARDLESS OF WHETHER ORIGINAL TESTS OR INSPECTIONS WERE CONTRACTOR'S RESPONSIBILITY OR THE OWNER'S SPECIAL INSPECTIONS, PROVIDE QUALITY-CONTROL SERVICES, INCLUDING RETESTING AND REINSPECTING, FOR CONSTRUCTION THAT REPLACED WORK THAT FAILED TO COMPLY WITH THE CONTRACT DOCUMENTS.

CONSTRUCTION WASTE MANAGEMENT:

- A. DEVELOP A WASTE MANAGEMENT PLAN AND SUBMIT PLAN FOR APPROVAL WITHIN 14 DAYS OF DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK.
B. DISTRIBUTE AND IMPLEMENT APPROVED WASTE MANAGEMENT PLAN. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION, AND OTHER ITEMS AS REQUIRED TO IMPLEMENT WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
C. TRAIN WORKERS, SUBCONTRACTORS, AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK.
D. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT WASTE MANAGEMENT OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DESIGNATE AND LABEL SPECIFIC AREAS ON PROJECT SITE NECESSARY FOR SEPARATING MATERIALS THAT ARE TO BE SALVAGED AND RECYCLED.

CLOSEOUT PROCEDURES:

- A. CONTRACTOR'S LIST OF INCOMPLETE ITEMS: PREPARE AND SUBMIT A LIST OF ITEMS TO BE COMPLETED AND CORRECTED (CONTRACTOR'S "PUNCH LIST"), INDICATING THE VALUE OF EACH ITEM ON THE LIST AND REASONS WHY THE WORK IS INCOMPLETE.
B. SUBMITTALS PRIOR TO SUBSTANTIAL COMPLETION: COMPLETE THE FOLLOWING A MINIMUM OF 10 DAYS PRIOR TO REQUESTING INSPECTION FOR DETERMINING DATE OF SUBSTANTIAL COMPLETION.
1. SUBMIT A FINAL APPLICATION FOR PAYMENT.
2. CERTIFICATE OF INSURANCE: SUBMIT EVIDENCE OF FINAL, CONTINUING INSURANCE COVERAGE.
3. CERTIFIED LIST OF INCOMPLETE ITEMS: SUBMIT CERTIFIED COPY OF ARCHITECT'S SUBSTANTIAL COMPLETION INSPECTION LIST OF ITEMS TO BE COMPLETED OR CORRECTED (PUNCH LIST), ENDORSED AND DATED BY ARCHITECT. CERTIFIED COPY OF THE LIST SHALL STATE THAT EACH ITEM HAS BEEN COMPLETED OR OTHERWISE RESOLVED FOR ACCEPTANCE.
4. CERTIFICATES OF RELEASE: OBTAIN AND SUBMIT RELEASES FROM AUTHORITIES HAVING JURISDICTION, PERMITTING OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
5. SUBMIT CLOSEOUT SUBMITTALS AS REQUIRED, INCLUDING SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE SERVICE AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS.
6. SUBMIT MAINTENANCE MATERIAL SUBMITTALS SPECIFIED IN INDIVIDUAL SECTIONS, INCLUDING TOOLS, SPARE PARTS, EXTRA MATERIALS, AND SIMILAR ITEMS, AND DELIVER TO LOCATION DESIGNATED BY OWNER OR OWNER'S AGENT. LABEL WITH MANUFACTURER'S NAME AND MODEL NUMBER.
7. SUBMIT TESTING, ADJUSTING, AND BALANCING RECORDS.
8. SUBMIT CHANGEOVER INFORMATION RELATED TO OWNER'S OCCUPANCY, USE, OPERATION, AND MAINTENANCE.

C. FINAL CLEANING

- 1. EMPLOY EXPERIENCED WORKERS OR PROFESSIONAL CLEANERS FOR FINAL CLEANING. CLEAN EACH SURFACE OR UNIT TO CONDITION EXPECTED IN AN AVERAGE COMMERCIAL BUILDING CLEANING AND MAINTENANCE PROGRAM. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
2. USE CLEANING PRODUCTS THAT COMPLY WITH GREEN SEAL'S GS-37, OR IF GS-37 IS NOT APPLICABLE, USE PRODUCTS THAT COMPLY WITH THE CALIFORNIA CODE OF REGULATIONS MAXIMUM ALLOWABLE VOC LEVELS.
3. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL CONDITION.
4. VACUUM CARPET AND SIMILAR SOFT SURFACES, REMOVING DEBRIS AND EXCESS NAP; CLEAN ACCORDING TO MANUFACTURER'S RECOMMENDATIONS IF VISIBLE SOIL OR STAINS REMAIN.
5. CLEAN TRANSPARENT MATERIALS, INCLUDING MIRRORS AND GLASS IN DOORS AND WINDOWS. REMOVE GLAZING COMPOUNDS AND OTHER NOTICEABLE, VISION-OBSCURING MATERIALS. POLISH MIRRORS AND GLASS, TAKING CARE NOT TO SCRATCH SURFACES.
6. CLEAN PLUMBING FIXTURES TO A SANITARY CONDITION, FREE OF STAINS, INCLUDING STAINS RESULTING FROM WATER EXPOSURE.

OPERATIONS AND MAINTENANCE DATA:

- A. SUBMIT EACH MANUAL IN FINAL FORM PRIOR TO REQUESTING INSPECTION FOR SUBSTANTIAL COMPLETION AND AT LEAST 10 DAYS BEFORE COMMENCING DEMONSTRATION AND TRAINING.
B. CORRECT OR REVISE EACH MANUAL TO COMPLY WITH ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS. SUBMIT COPIES OF EACH CORRECTED MANUAL WITHIN 10 DAYS OF RECEIPT OF ARCHITECT'S AND COMMISSIONING AUTHORITY'S COMMENTS AND PRIOR TO COMMENCING DEMONSTRATION AND TRAINING.
C. SUBMIT ON DIGITAL MEDIA ACCEPTABLE TO ARCHITECT BY UPLOADING TO WEB-BASED PROJECT SOFTWARE SITE OR BY EMAIL TO ARCHITECT, IF WEB-BASED SOFTWARE IS NOT UTILIZED. ENABLE REVIEWER COMMENTS ON DRAFT SUBMITTALS.
1. ELECTRONIC FILES: USE ELECTRONIC FILES PREPARED BY MANUFACTURER WHERE AVAILABLE. WHERE SCANNING OF PAPER DOCUMENTS IS REQUIRED, CONFIGURE SCANNED FILE FOR MINIMUM READABLE FILE SIZE.
2. BOOKMARK INDIVIDUAL DOCUMENTS BASED ON FILE NAMES. NAME DOCUMENT FILES TO CORRESPOND TO SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES USED IN MANUAL DIRECTORY AND TABLE OF CONTENTS. GROUP DOCUMENTS FOR EACH SYSTEM AND SUBSYSTEM INTO INDIVIDUAL COMPOSITE BOOKMARKED FILES, THEN CREATE COMPOSITE MANUAL, SO THAT RESULTING BOOKMARKS REFLECT THE SYSTEM, SUBSYSTEM, AND EQUIPMENT NAMES IN A READILY NAVIGATED FILE TREE. CONFIGURE ELECTRONIC MANUAL TO DISPLAY BOOKMARK PANEL ON OPENING FILE.
D. ORGANIZATION OF MANUALS: UNLESS OTHERWISE INDICATED, ORGANIZE EACH MANUAL INTO A SEPARATE SECTION FOR EACH SYSTEM AND SUBSYSTEM, AND A SEPARATE SECTION FOR EACH PIECE OF EQUIPMENT NOT PART OF A SYSTEM. PROVIDE A TITLE PAGE AND TABLE OF CONTENTS.
1. TITLE PAGE SHALL INCLUDE:
a. SUBJECT MATTER INCLUDED IN MANUAL.
b. DATE OF SUBMITTAL.
c. NAME AND CONTACT INFORMATION FOR CONTRACTOR AND CONSTRUCTION MANAGER WHEN APPLICABLE.
d. NAME AND CONTACT INFORMATION FOR COMMISSIONING AUTHORITY.
2. EMERGENCY MANUAL: ASSEMBLE A COMPLETE SET OF EMERGENCY INFORMATION INDICATING PROCEDURES FOR USE BY EMERGENCY PERSONNEL AND BY OWNER'S OPERATING PERSONNEL FOR TYPES OF EMERGENCIES INDICATED.
3. SYSTEMS AND EQUIPMENT OPERATION MANUAL: ASSEMBLE A COMPLETE SET OF DATA INDICATING OPERATION OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE INFORMATION REQUIRED FOR DAILY OPERATION AND MANAGEMENT, OPERATING STANDARDS, AND ROUTINE AND SPECIAL OPERATING PROCEDURES.
4. SYSTEMS AND EQUIPMENT MAINTENANCE MANUALS: ASSEMBLE A COMPLETE SET OF DATA INDICATING MAINTENANCE OF EACH SYSTEM, SUBSYSTEM, AND PIECE OF EQUIPMENT NOT PART OF A SYSTEM. INCLUDE MANUFACTURERS' MAINTENANCE DOCUMENTATION, PREVENTIVE MAINTENANCE PROCEDURES AND FREQUENCY, REPAIR PROCEDURES, WIRING AND SYSTEMS DIAGRAMS, LISTS OF SPARE PARTS, AND WARRANTY INFORMATION.
5. PRODUCT MAINTENANCE MANUAL: ASSEMBLE A COMPLETE SET OF MAINTENANCE DATA INDICATING CARE AND MAINTENANCE OF EACH PRODUCT, MATERIAL, AND FINISH INCORPORATED INTO THE WORK.

PROJECT RECORD DOCUMENTS:

- A. RECORD PRINTS: MAINTAIN ONE SET OF MARKED-UP PAPER COPIES OF THE CONTRACT DRAWINGS AND SHOP DRAWINGS, INCORPORATING NEW AND REVISED DRAWINGS AS MODIFICATIONS ARE ISSUED.
B. MAINTAIN ONE COPY OF EACH SUBMITTAL DURING THE CONSTRUCTION PERIOD FOR PROJECT RECORD DOCUMENT PURPOSES. POST CHANGES AND REVISIONS TO PROJECT RECORD DOCUMENTS AS THEY OCCUR. DO NOT WAIT UNTIL END OF PROJECT.
C. RECORD DIGITAL DATA FILES: IMMEDIATELY BEFORE INSPECTION FOR SUBSTANTIAL COMPLETION, REVIEW MARKED-UP RECORD DOCUMENTS WITH ARCHITECT, CONTRACTOR AND/OR CONSTRUCTION MANAGER. WHEN AUTHORIZED, PREPARE A FULL SET OF CORRECTED DIGITAL DATA FILES OF THE CONTRACT DOCUMENTS. SEE OPERATIONS AND MAINTENANCE DATA SECTION ABOVE FOR SUBMISSION FORMAT REQUIREMENTS.

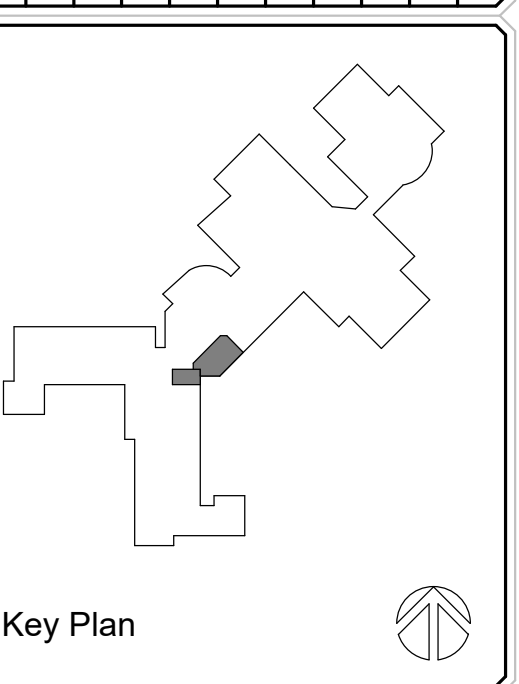
DEMONSTRATION AND TRAINING:

- A. FACILITATOR: CONTRACTOR OR CONSTRUCTION MANAGER SHALL PREPARE INSTRUCTION PROGRAM AND TRAINING MODULES, TO COORDINATE INSTRUCTORS, AND TO COORDINATE BETWEEN CONTRACTOR AND OWNER FOR NUMBER OF PARTICIPANTS, INSTRUCTION TIMES, AND LOCATION.
B. ENGAGE QUALIFIED INSTRUCTORS TO INSTRUCT OWNER'S PERSONNEL TO ADJUST, OPERATE, AND MAINTAIN SYSTEMS, SUBSYSTEMS, AND EQUIPMENT NOT PART OF A SYSTEM.
C. PROVIDE INSTRUCTION AT MUTUALLY AGREED-ON TIMES. FOR EQUIPMENT THAT REQUIRES SEASONAL OPERATION, PROVIDE SIMILAR INSTRUCTION AT START OF EACH SEASON.
D. TRAINING LOCATION AND REFERENCE MATERIAL: CONDUCT TRAINING ON-SITE IN THE COMPLETED AND FULLY OPERATIONAL FACILITY USING THE ACTUAL EQUIPMENT IN-PLACE. CONDUCT TRAINING USING FINAL OPERATION AND MAINTENANCE DATA SUBMITTALS.
E. EVALUATION: AT CONCLUSION OF EACH TRAINING MODULE, ASSESS AND DOCUMENT EACH PARTICIPANT'S MASTERY OF MODULE BY USE A DEMONSTRATION PERFORMANCE-BASED TEST.
F. COLLECT USED AND LEFTOVER EDUCATIONAL MATERIALS AND GIVE TO OWNER. REMOVE INSTRUCTIONAL EQUIPMENT. RESTORE SYSTEMS AND EQUIPMENT TO CONDITION EXISTING BEFORE INITIAL TRAINING USE.

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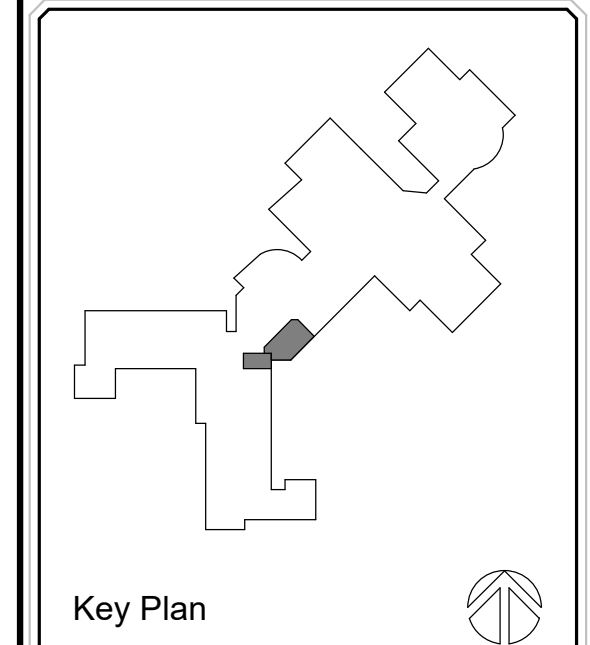
ORCHARD VIEW SCHOOLS OVEE SECURED VESTIBULE 2820 MACARTHUR RD MUSKEGON, MI 49442

Colliers Engineering & Design GRAND RAPIDS 560 5th St. NW Suite 305 Grand Rapids, MI 49504 Phone: 616.827.4270 SCALE: AS SHOWN DATE: 4/11/25 DRAWN BY: E POST CHECKED BY: B HUYLER PROJECT NUMBER: 25004490A DRAWING NAME: Approver SHEET TITLE: GENERAL REQUIREMENTS SHEET NUMBER: A002

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

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REV	DATE	DESCRIPTION
1	4/11/25	ISSUE FOR PERMITS



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SCALE: AS SHOWN DATE: 4/11/25 DRAWN BY: E POST CHECKED BY: B HUYLER
 PROJECT NUMBER: 25004490A DRAWING NAME: REVIEWED BY:

SHEET TITLE: **FIRST FLOOR PLANS**
 SHEET NUMBER: **A101**

GENERAL NOTES

- A. REFER TO A001 FOR WALL TYPES, DETAILS, AND ADDITIONAL INFORMATION.
- B. REFER TO A101 DRAWING FOR ALL AREA OF WORK FLOOR PLANS.
- C. REFER TO A102 DRAWING FOR DOOR SCHEDULE, WINDOW SCHEDULE, DETAILS, AND BASIS OF DESIGN.
- D. ALL DOORS TO BE LOCATED 4" FROM DRYWALL ADJACENT WALL UNLESS OTHERWISE NOTED.
- E. ALIGN FACES OF MASONRY AND STUD WALLS INDICATED IN THE SAME PLANE ON PLANS, U.O.N.

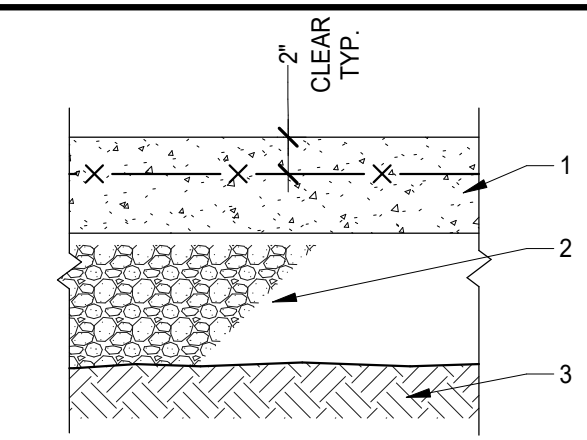
CEILING LEGEND

NOTE: SEE OTHER DISCIPLINE DRAWINGS (E.G. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS) FOR ASSOCIATED SYSTEMS AND INFORMATION ABOUT SYMBOLS NOT INDICATED IN THIS LEGEND.

- 2' x 2' SUSPENDED CEILING TILE
- GYPSUM BOARD CEILING/SOFFIT
- 2' x 4' LIGHT FIXTURE
- CAN LIGHT FIXTURE
- SUPPLY GRILLE
- RETURN GRILLE
- SPRINKLER HEAD
- SPEAKER

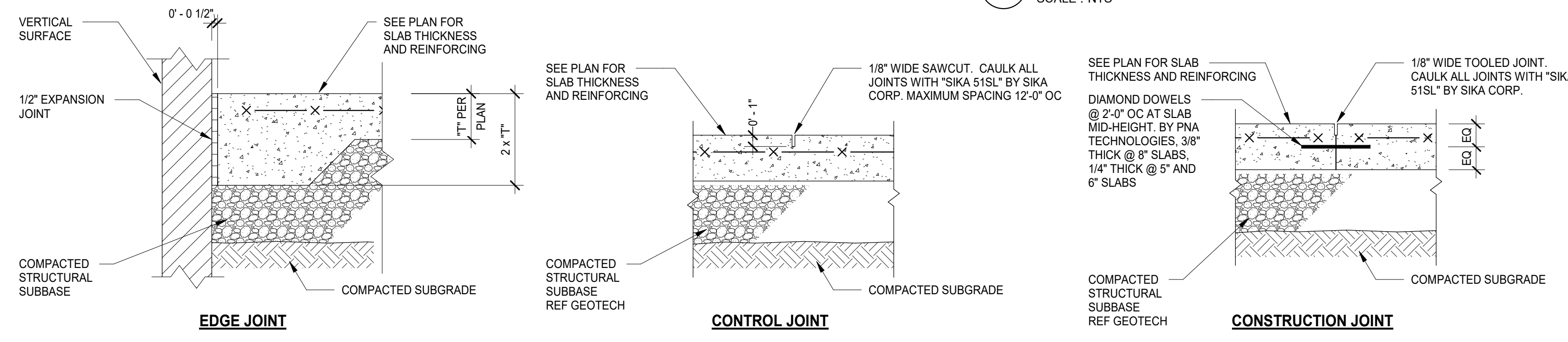
FLOOR PLAN LEGEND

- FLOOR FINISH
- WALL BASE FINISH
- GENERAL WALL FINISH
- CR CARD READER
- AR ADA PUSH BUTTON ACTUATOR

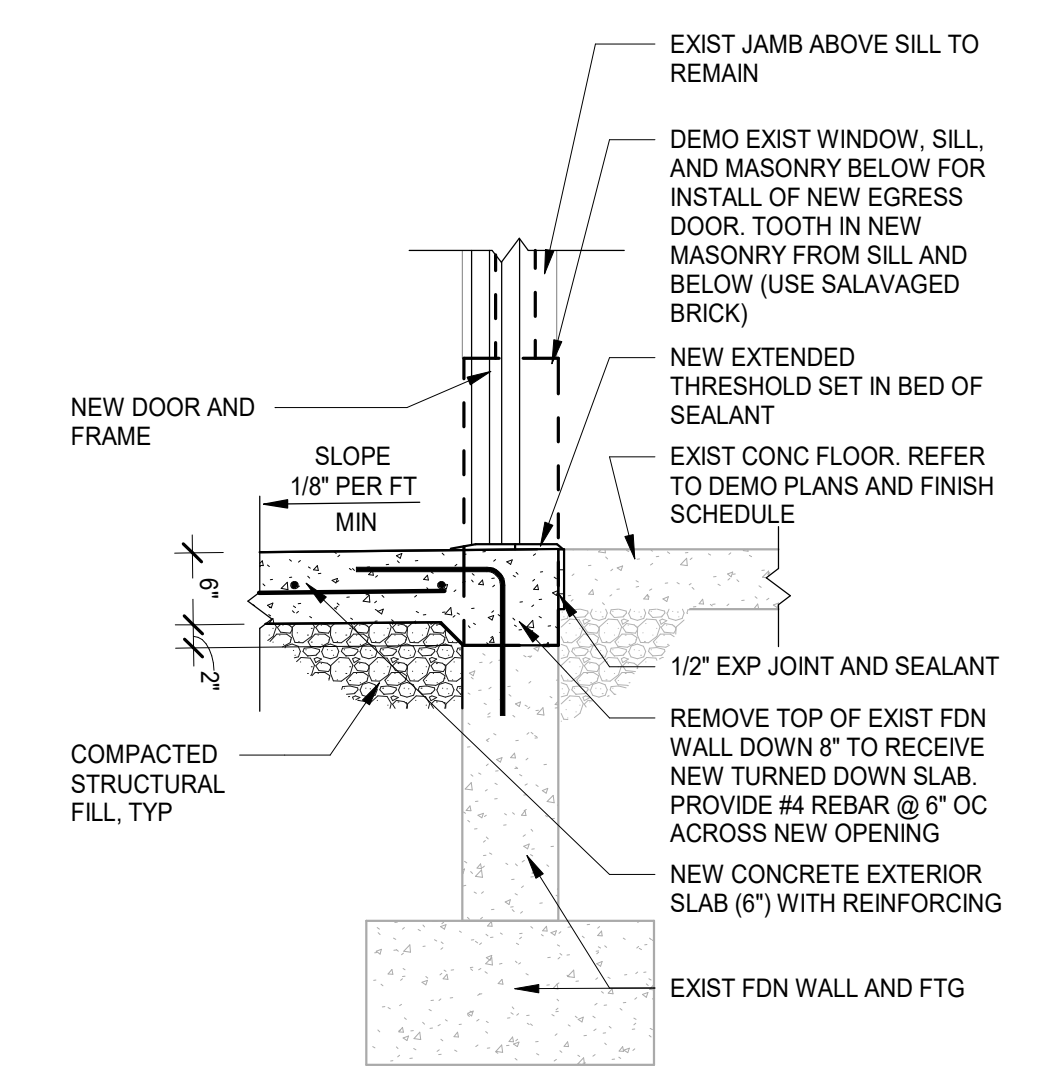


1. 6" CONCRETE - MDOT P1 SECTION (28 DAY STRENGTH 4000 PSI)
2. 5" MDOT 21AA - AGGREGATE BASE COURSE HEAVY DUTY
3. COMPACTED SUBGRADE, PROOFROOFED AND APPROVED SUBGRADE
 - a. COMPACT SUBGRADE TO A MODIFIED PROCTOR DENSITY OF 95%
 - b. SUBGRADE COURSE SHALL HAVE NO MORE THAN 7% BY WEIGHT FINER THAN NO. 200 SIEVE.

6 TYPICAL SLAB-ON-GRADE CONSTRUCTION
SCALE: NTS



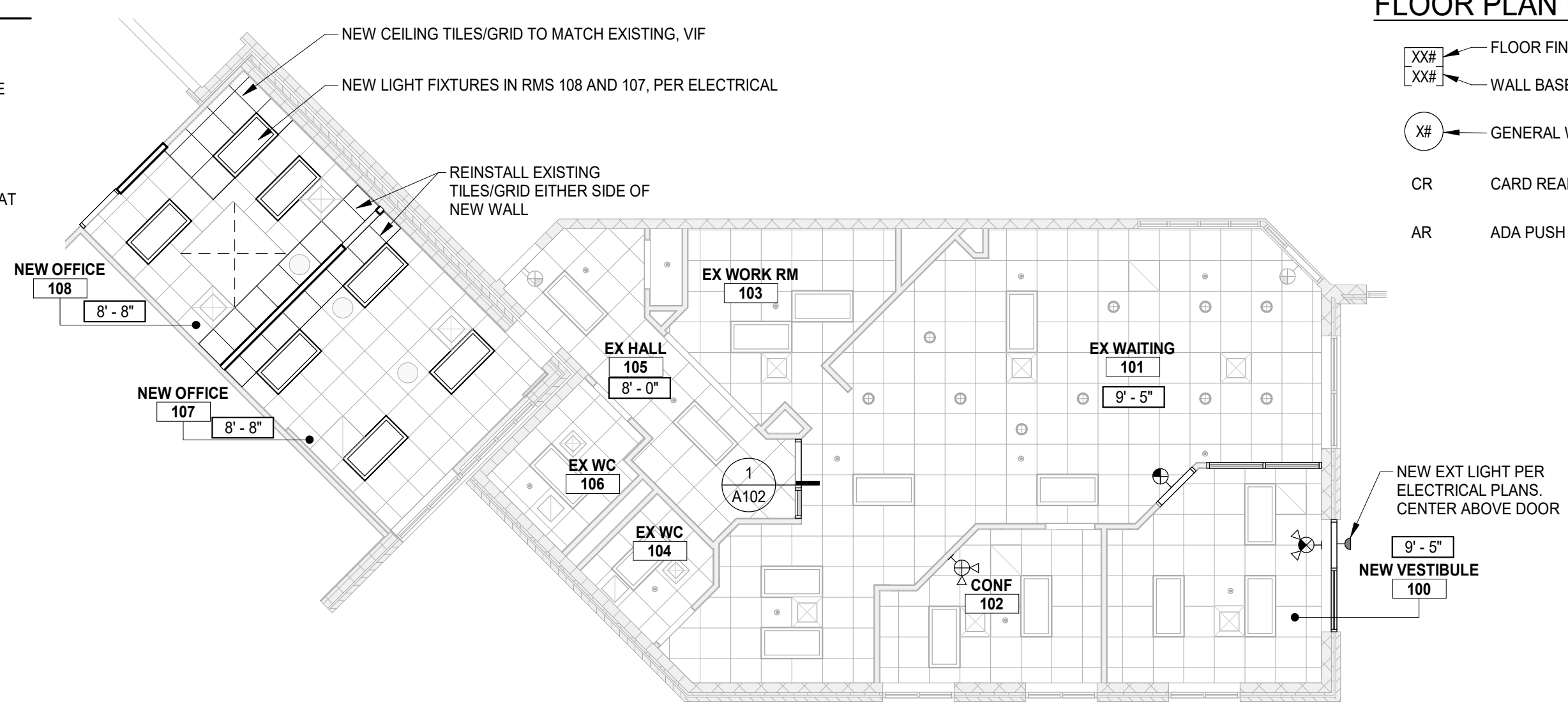
7 TYPICAL SLAB-ON-GRADE JOINTS
SCALE: NTS



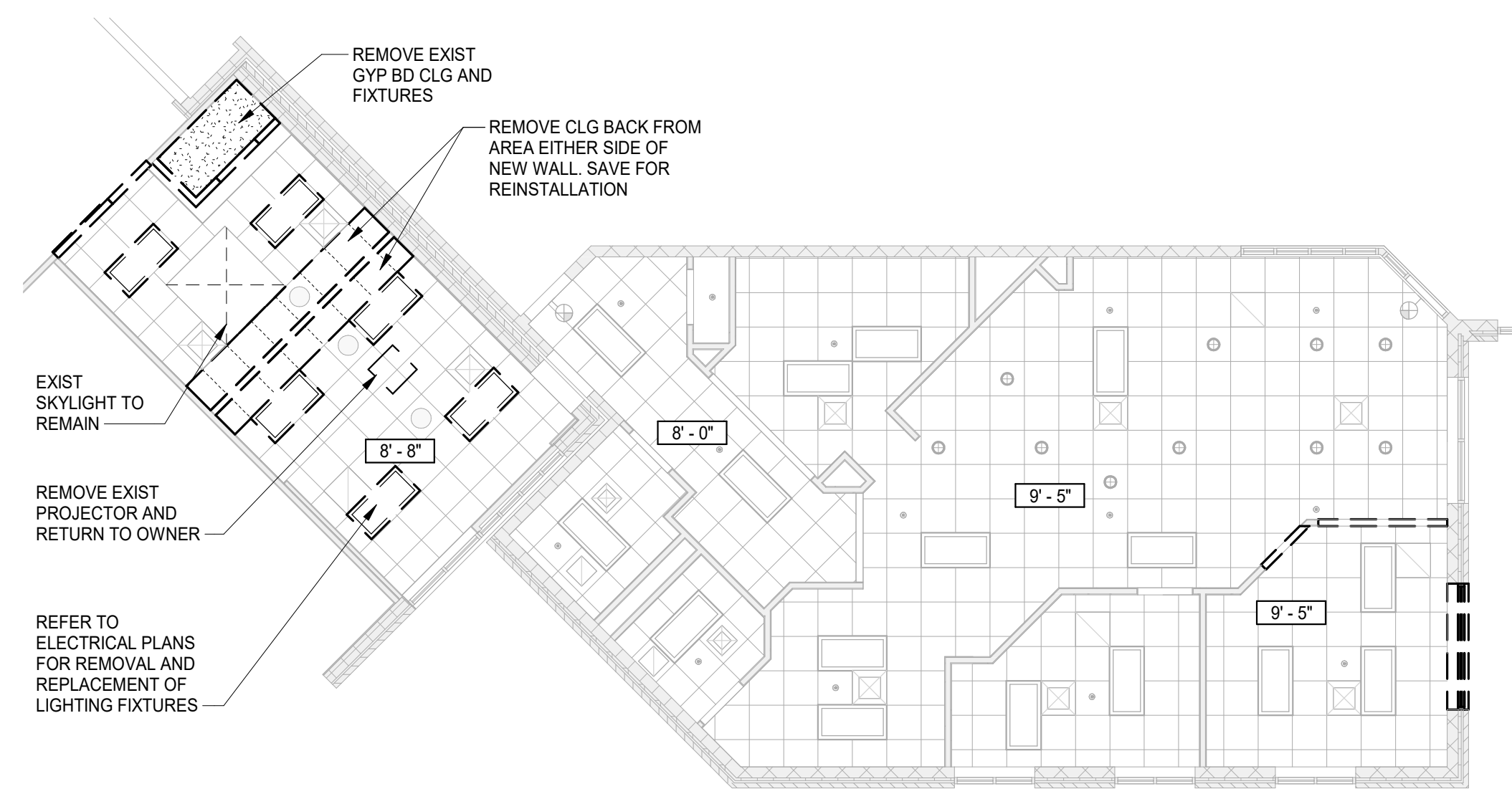
5 THRESHOLD DETAIL
SCALE: NTS

GENERAL DEMOLITION NOTES

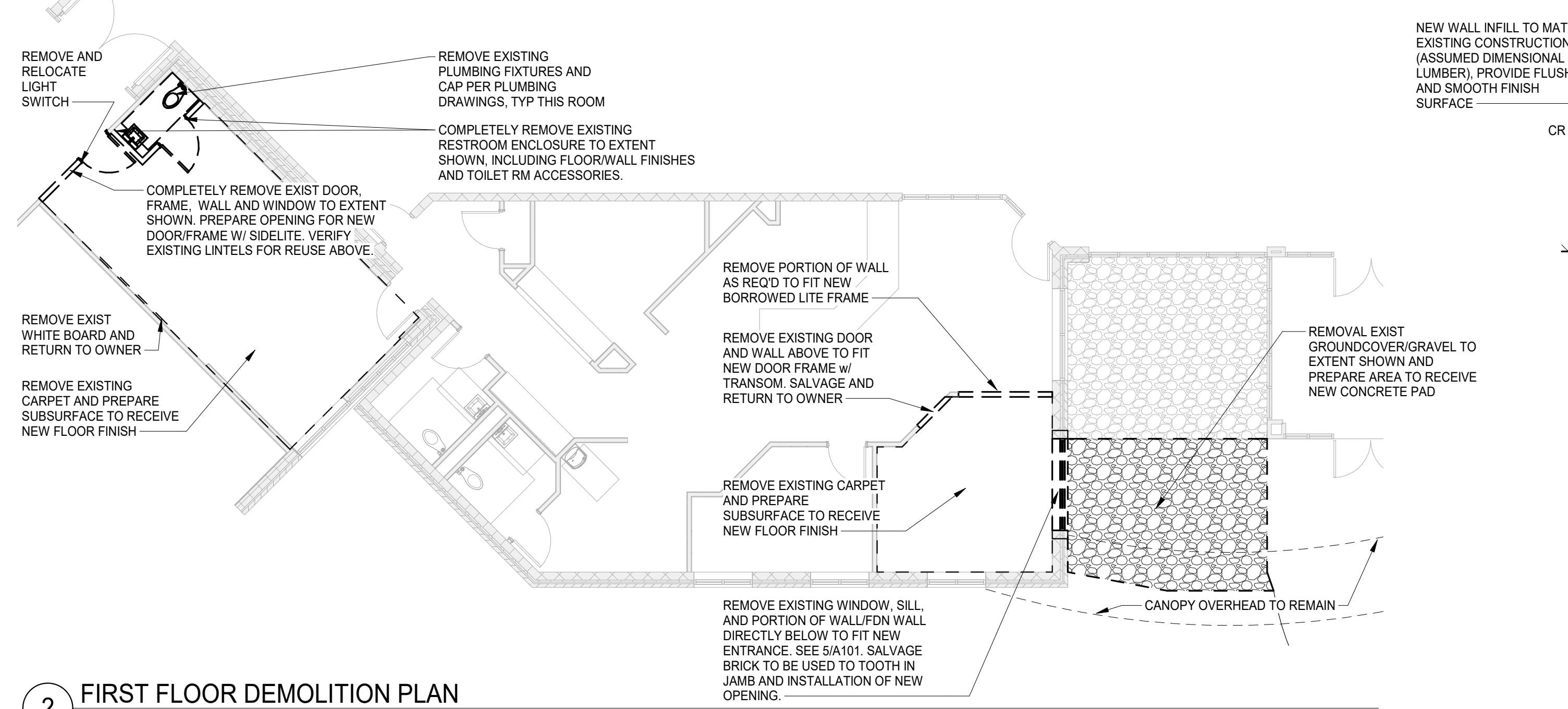
- A. CONTRACTOR SHALL COORDINATE REMOVAL OF FLOORS, WALLS AND CEILINGS WITH MECHANICAL, ELECTRICAL AND PLUMBING TRADES. ALL POWER, MECHANICAL AND PLUMBING LINES SHALL BE REMOVED BACK TO NEAREST MAIN BRANCH LINE OR PANEL.
- B. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND EQUIPMENT NOTED TO REMAIN FROM DAMAGE RESULTING FROM DEMOLITION ACTIVITIES. ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM DEMOLITION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- C. CONTRACTOR SHALL PROTECT ADJACENT SURFACES IN PREPARATION OF SAW CUTTING REQUIRED FOR DEMOLITION ACTIVITIES.



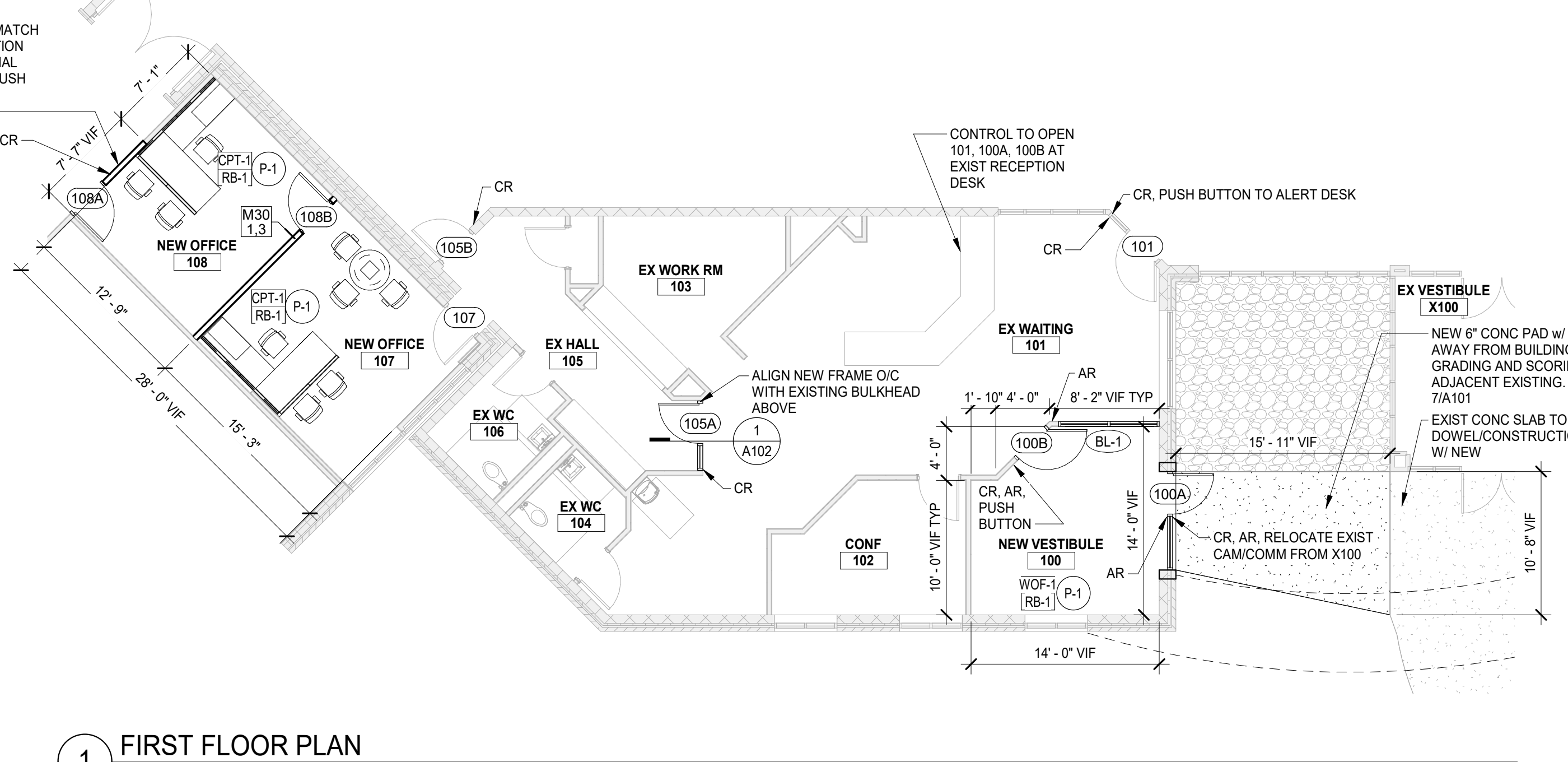
3 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



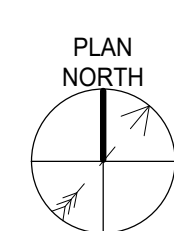
4 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



DOOR SCHEDULE												
DOOR #	DOOR				FRAME			GENERAL				
	WIDTH	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	DETAIL	HDWR	RATING	REMARKS	DOOR #
Existing												
FIRST FLOOR												
101	EXISTING	EXISTING	EXISTING	FG	EX HM - PT	EXIST	EX HM - PT				CR EA SIDE, PUSH BUTTON TO DESK, PROVIDE NEW HARDWARE FOR POWER	101
105B	EXISTING	EXISTING	EXISTING	F	WD - ST	EXIST	HM - PT				CR, PROVIDE NEW HARDWARE FOR POWER	105B
107	EXISTING	EXISTING	EXISTING	F	EX HM - PT	EXIST	EX HM - PT			EX 90 MIN	PROVIDE 7"x22" NARROW LITE VISION KIT IN EXIST DR, MAINTAIN FIRE RATING	107
New Construction												
FIRST FLOOR												
100A	3'-0"	7'-0"	0'-1.314"	FG	ALUM - FF	2	ALUM - FF	2/A102; 5/A101	07		CR, AR EA SIDE, USE EXIST CAM/COMM RELOCATED FROM X100	100A
100B	3'-0"	7'-0"	0'-1.314"	FG	WD - ST	4	HM - PT	3/A102	06		CR, AR EA SIDE, PUSH BUTTON TO DESK	100B
105A	3'-0"	7'-0"	0'-1.314"	FG	WD - ST	4	ALUM - FF	3/A102; 1/A102	02		CR	105A
108A	3'-0"	7'-0"	0'-1.314"	G	WD - ST	1	HM - PT	4/A102	04	20 MIN	CR	108A
108B	3'-0"	7'-0"	0'-1.314"	G	WD - ST	1	HM - PT	3/A102	01			108B

NOTE: CONTRACTOR TO VERIFY EXISTING DOOR CONDITIONS FOR INSTALLATION OF NEW HARDWARE. COORDINATE WITH LOW VOLTAGE CONTRACTOR ON POWER REQUIREMENTS AND ROUTING OF LOW VOLTAGE AND POWER/JUNCTION BOXES.

ROOM FINISH SCHEDULE									
ROOM NUMBER	NAME	FLOOR	BASE	WALL FINISH (PLAN DIRECTIONS)				CEILING FINISH	REMARKS
				NORTH	EAST	SOUTH	WEST		
FIRST FLOOR									
100	NEW VESTIBULE	WOF-1 (NEW)	RB-1 (NEW)	P-1	P-1	P-1	P-1	ACT-1 (EXIST w/ PATCH)	PAINT ALL WALLS ENTIRE ROOM
101	EX WAITING	--	--	--	--	P*	P*	--	PAINT TOUCH UP AT NEW CONSTRUCTION
105	EX HALL	--	--	--	P*	--	--	--	PAINT TOUCH UP AT NEW CONSTRUCTION
107	NEW OFFICE	CPT-1 (NEW)	RB-1 (NEW)	P-1	P-1	P-1	P-1	ACT-1 (EXIST w/ PATCH)	PAINT ALL WALLS ENTIRE ROOM
108	NEW OFFICE	CPT-1 (NEW)	RB-1 (NEW)	P-1	P-1	P-1	P-1	ACT-1 (EXIST w/ PATCH)	PAINT ALL WALLS ENTIRE ROOM

BASIS OF DESIGN

12 48 13 ENTRANCE MATS & GRIDS

WOF-1: VINYL GRID SYSTEMS W/ CARPET
 MANUFACTURER: PORTICO SYSTEMS
 COLLECTION: SNAP TRAX PLUS TILE
 COLOR: GREY

09 84 33 INTERIOR PAINT

P-1: FIELD - GYPSUM BOARD - NEW AND PREVIOUSLY PAINTED
 MANUFACTURER: SHERWIN-WILLIAMS
 PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER, B28 SERIES
 INTERMEDIATE COAT: MATCH TOP COAT
 TOP COAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20
 COLOR: TBD

P-1: FIELD - CMU - PREVIOUSLY PAINTED
 MANUFACTURER: SHERWIN-WILLIAMS
 PRIMER: LOXON CONCRETE AND MASONRY PRIMER LX02 SERIES
 INTERMEDIATE COAT: MATCH TOP COAT
 TOP COAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20
 COLOR: TBD (SAME AS ABOVE)

09 68 13 TILE CARPET

CPT-1: CARPET TILE; 24" x 24" (TBD)
 MANUFACTURER: SHAWCONTRACT
 STYLE: CORRESPOND TILE
 COLOR: FLUSE
 INSTALLATION: QUARTER TURN

09 65 13 RESILIENT BASE

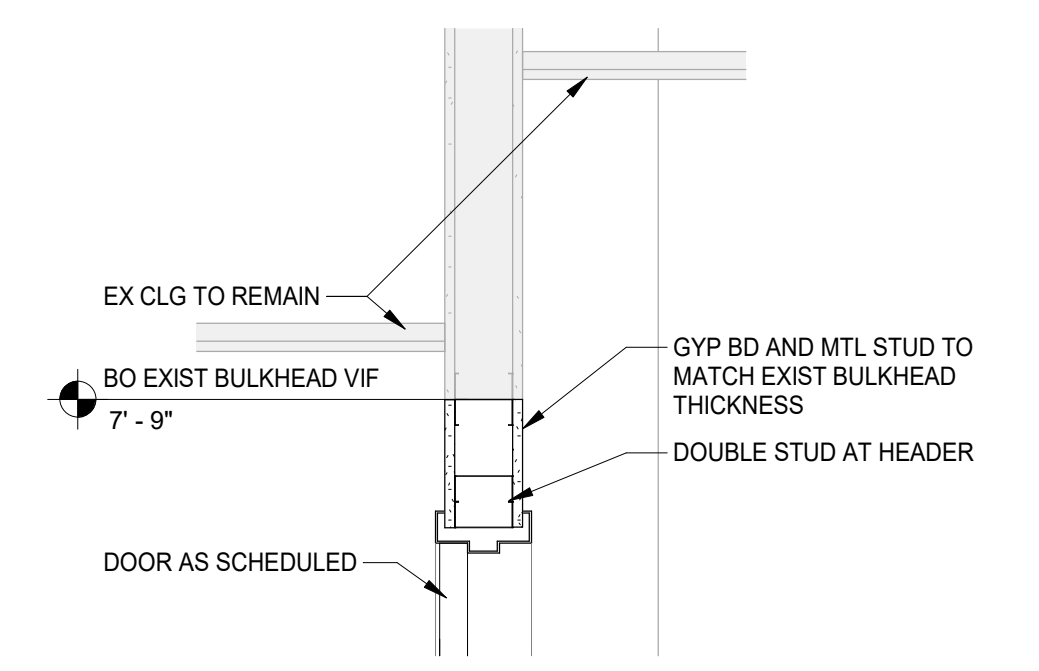
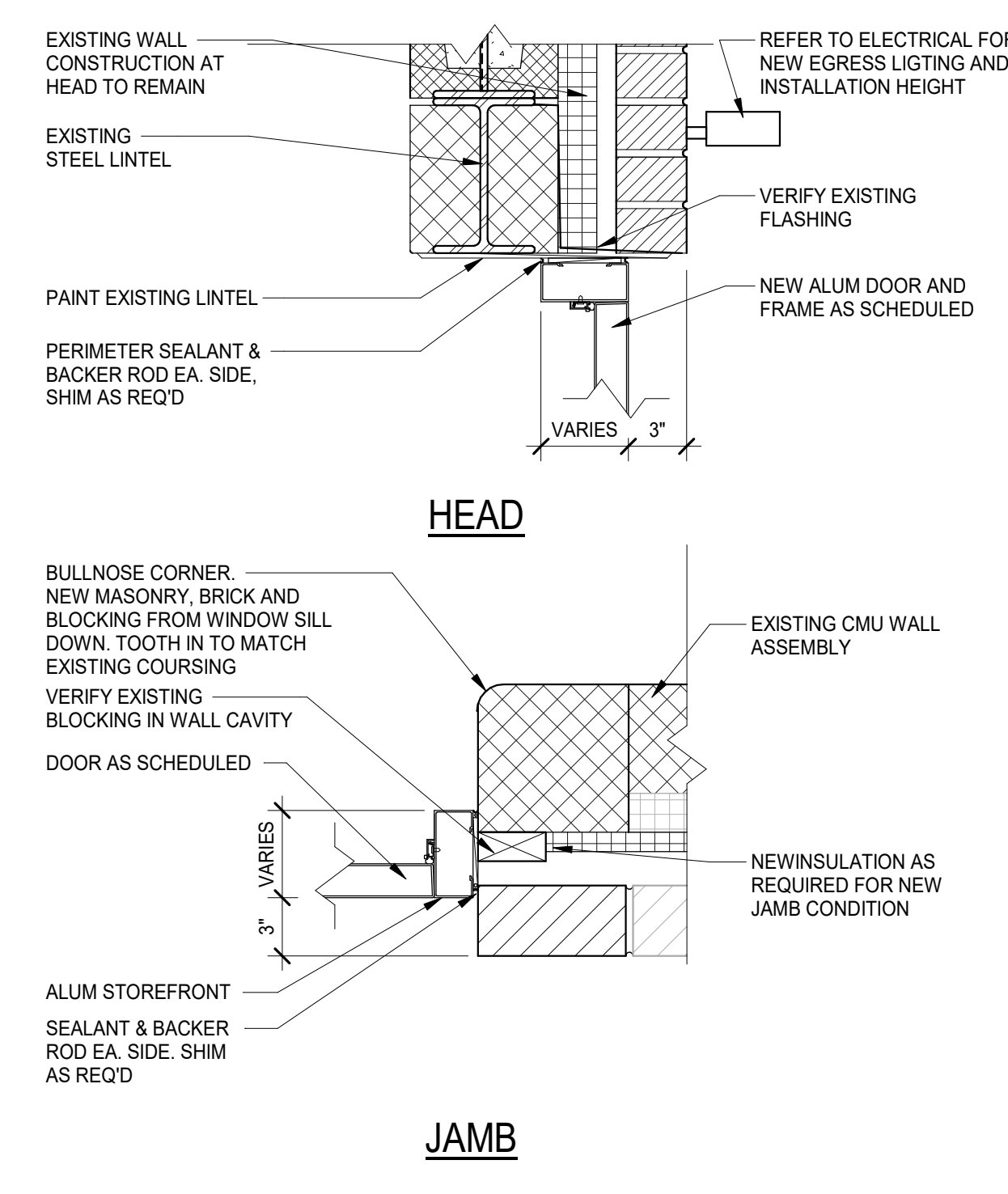
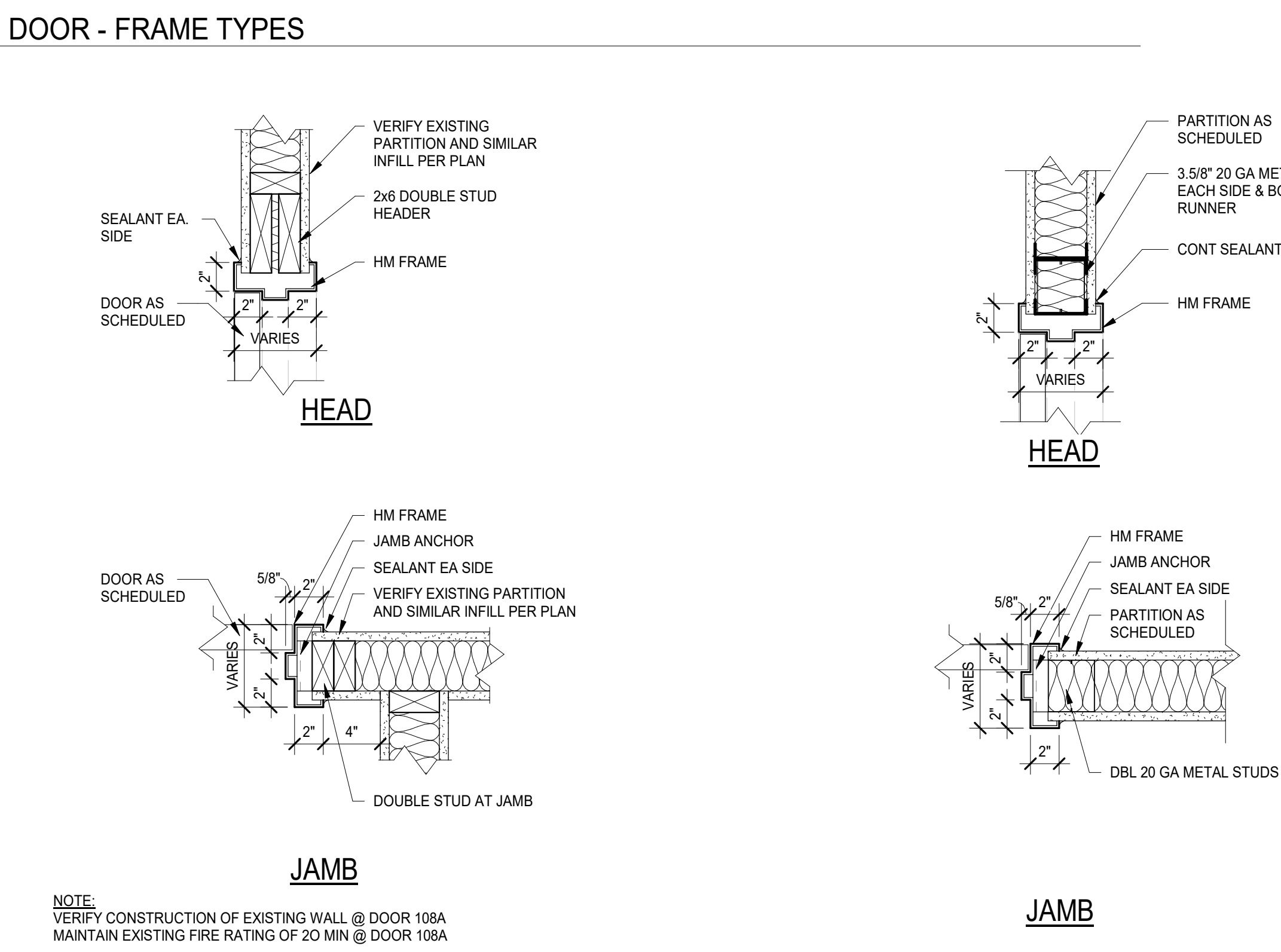
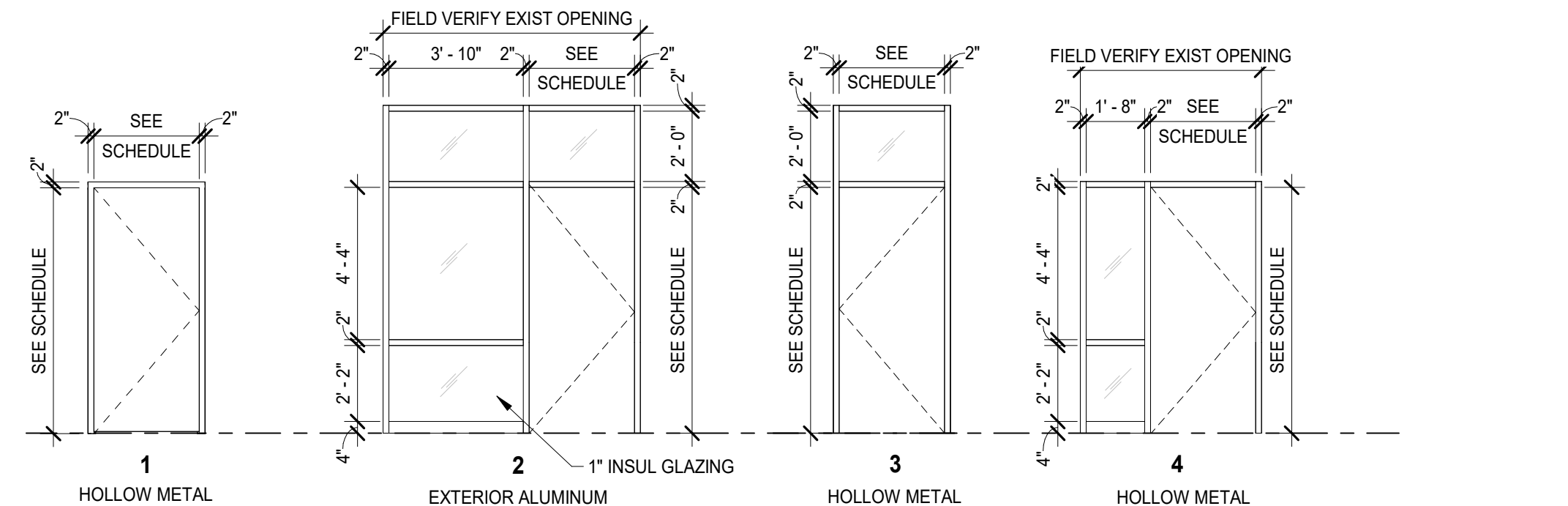
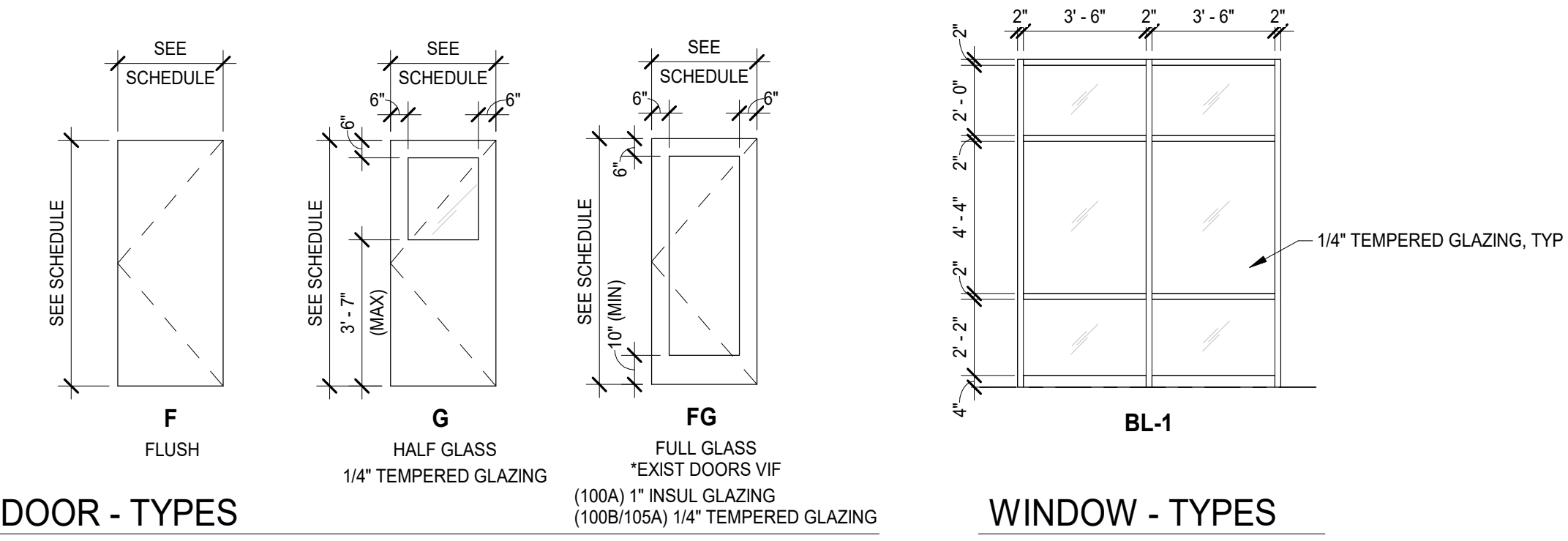
RB-1: RESILIENT WALL BASE; 4" H (TBD)
 MANUFACTURER: JOHNSONITE
 STYLE: TRADITIONAL 4" DC
 COLOR: DOCKSIDE
 TOE STYLE: COVE
 NOTE:

FINISH NOTES:

VERIFY EXISTING MATERIAL ATTIC STOCK WITH OWNER FOR PAINT, FLOORING, CEILING, AND WALL BASE. FINISH MATERIALS SHOULD MATCH EXISTING U.O.N.

SPECIFICATIONS:

- A. **HOLLOW METAL FRAME:** HEAVY-DUTY ANSISDI A250.8, LEVEL 2, ANSISDI A250.4, LEVEL B, FULL PROFILE WELDED. ACCEPTABLE MANUFACTURERS - CECO DOOR, CURRIES COMPANY, REPUBLIC DOORS AND FRAMES, AND STEELCRAFT. FINISH - PAINT TO MATCH EXISTING SIMILAR DOOR FRAMES.
- B. **FLUSH WOOD DOORS:** SOLID-CORE FIVE-PLY FLUSH WOOD VENEER-FACED DOORS FOR TRANSPARENT FINISH. PERFORMANCE GRADE - ANSISDI A250.8, LEVEL 2, ANSISDI A250.4, LEVEL B, FULL PROFILE WELDED. ACCEPTABLE MANUFACTURERS - CECO DOOR, CURRIES COMPANY, REPUBLIC DOORS AND FRAMES, AND STEELCRAFT. FINISH - PAINT TO MATCH EXISTING SIMILAR DOOR FRAMES.
- C. **ALUMINUM FRAMED ENTRANCES AND STOREFRONTS:** EXTERIOR FRAMING TO BE THERMALLY BROKEN. ACCEPTABLE PRODUCTS/MANUFACTURERS - TUBELITE T14000 (4-1/2" DEPTH FRAME) OR APPROVED EQUAL. FINISH - ANODIC FINISH AAMA 611, AA-M12C22A2/A44, CLASS 1, MINIMUM 0.7 MIL THICKNESS. MATCH COLOR TO EXISTING ENTRANCE DOORS/WINDOWS. FABRICATION METHOD - FIELD FABRICATED STICK SYSTEM.
- D. **ALUMINUM DOORS:** 1-3/4" OVERALL THICKNESS, WITH MIN 0.125" THICK EXTRUDED ALUMINUM TUBULAR MEMBERS. MECHANICALLY FASTEN WITH CONCEALED RODS. TOP/BOTTOM OF DOOR TO RECEIVE 1/8" THICK CAP FOR FURTHER SEAL AND TRIM. GLAZING STOPS AND GASKETS NONREMOVABLE AT OUTSIDE DOOR - SQUARE, SNAP-ON EXTRUDED ALUMINUM STOPS AND PERFORMED GASKETS. AT EXTERIOR DOORS PROVIDE SLIDING-TYPE WEATHER STRIPPING RETAINED IN ADJUSTABLE STRIP AND MORTICED INTO DOOR EDGE. PROVIDE NEW ALUMINUM THRESHOLD. ACCEPTABLE PRODUCTS/MANUFACTURERS - TUBELITE THERMLOCK, MEDIUM STILE WITH 5" VERTICAL STILES, 4" TOP RAIL, AND 10" BOTTOM RAIL OR APPROVED EQUAL. FINISH - ANODIC FINISH AAMA 611, AA-M12C22A2/A44, CLASS 1, MINIMUM 0.7 MIL THICKNESS, MATCH COLOR TO EXISTING ENTRANCE DOORS/WINDOWS.
- E. **GLAZING:**
 - a. **MONOLITHIC GLASS**
 - HEAT STRENGTHENED FULLY TEMPERED FLOAT GLASS, MINIMUM 6MM THICK, AT INTERIOR NON-FIRE RATED LOCATIONS U.O.N.
 - FIRE RESISTANCE RATED GLAZING
 - LISTED AND LABELED BY A TESTING AGENCY ACCEPTABLE TO AHJ FOR FIRE RESISTANCE RATINGS INDICATED BASED ON TESTING IN ACCORDANCE WITH ASTM E 119 OR UL 263.
 - LAMINATED GLASS WITH INTUMESCENT INTERLAYERS: LAMINATED GLASS MADE FROM MULTIPLE PILES OF UNCOATED, CLEAR FLOAT GLASS WITH INTUMESCENT LAYERS; COMPLYING WITH 16 CFR 1201, CATEGORY II. MANUFACTURERS: PILKINGTON NORTH AMERICA, SAFITI FIRST FIRE RATED GLAZING SOLUTIONS, TECHNICAL GLASS PRODUCTS OR VETROTECH SAINT-GOBAIN.
 - GLAZING GASKETS, GLAZING SEALANTS, GLAZING TAPES, SETTING BLOCKS, SPACERS, EDGE BLOCKS, AND OTHER GLAZING ACCESSORIES COMPATIBLE WITH GLAZING PRODUCTS AND EACH OTHER AND ARE APPROVED BY TESTING AGENCIES THAT LISTED AND LABELED FIRE-RESISTANT GLAZING PRODUCTS WITH WHICH PRODUCTS ARE USED FOR APPLICATIONS AND FIRE-PROTECTION RATINGS INDICATED.
 - GLAZING SEALANTS FOR FIRE-RATED GLAZING PRODUCTS - NEUTRAL-CURING SILICONE GLAZING SEALANT COMPLYING WITH ASTM C920, TYPE S, GRADE NS, CLADD 50, USE NT. MANUFACTURERS: GE CONSTRUCTION SEALANTS, THE DOW CHEMICAL COMPANY, OR TREMCO INCORPORATED.
 - b. **INSULATED GLASS - VISION**
 - CONFORMANCE WITH ASTM E 2190, ACCEPTABLE PRODUCTS/MANUFACTURERS GUARDIAN GLASS, SUNGUARD S88 OR APPROVED EQUAL. 1 INCH THICK OVERALL, 6 MM MINIMUM THICKNESS OF EACH GLASS LITE.
 - OUTDOOR LITE: HEAT STRENGTHED FLOAT GLASS. INDOOR LITE: CLEAR FLOAT GLASS.
 - INTERSPACE CONTENT: AIR OR ARGON AS REQ'D TO MEET SPECIFIED U-FACTOR.
 - LOW-E COATING: SPUTTERED ON NO. 2 SURFACE.
 - WINTER NIGHTTIME U-FACTOR: 0.29 MAXIMUM; SUMMER DAYTIME U-FACTOR: 0.28 MAXIMUM.
 - VISIBLE LIGHT TRANSMITTANCE: 68%
- F. **HOLLOW METAL FRAMES:**
 - a. **INTERIOR HOLLOW METAL FRAMES:** HEAVY-DUTY ANSISDI A250.8, LEVEL 2, ANSISDI A250.4, LEVEL B, FULL PROFILE WELDED. PRIME PAINTED FOR SITE FINAL FINISH. ACCEPTABLE MANUFACTURERS - CECO DOOR, CURRIES COMPANY, REPUBLIC DOORS AND FRAMES, AND STEELCRAFT.
 - b. **FIRE-RATED, BORROWED-LITE ASSEMBLIES:** ASSEMBLIES COMPLYING WITH NFPA 80 AND LISTED AND LABELED BY A QUALIFIED TESTING AGENCY ACCEPTABLE TO AHJ, FOR FIRE PROTECTION RATINGS INDICATED, BASED ON TESTING ACCORDING TO NFPA 251 OR UL9.

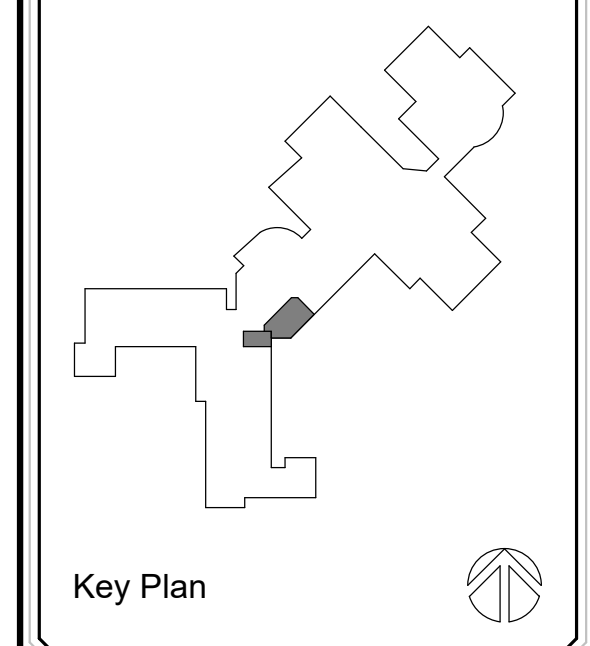


4 TYP HM HEAD & JAMB DETAIL @ INT WOOD STUD SCALE: 1 1/2" = 1'-0"
 3 TYP HM HEAD & JAMB @ INT METAL STUD SCALE: 1 1/2" = 1'-0"
 2 TYP ALUM HEAD & JAMB DETAILS @ EXT MASONRY BRICK VENEER SCALE: 1 1/2" = 1'-0"
 1 HEADER DETAIL @ DR 105A SCALE: 1" = 1'-0"

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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	4/11/25	E POST	B HUYLER
PROJECT NUMBER	DRAWING NAME	REVIEWED BY	SHEET TITLE
25004490A			SCHEDULES AND DETAILS
SHEET NUMBER	A102		

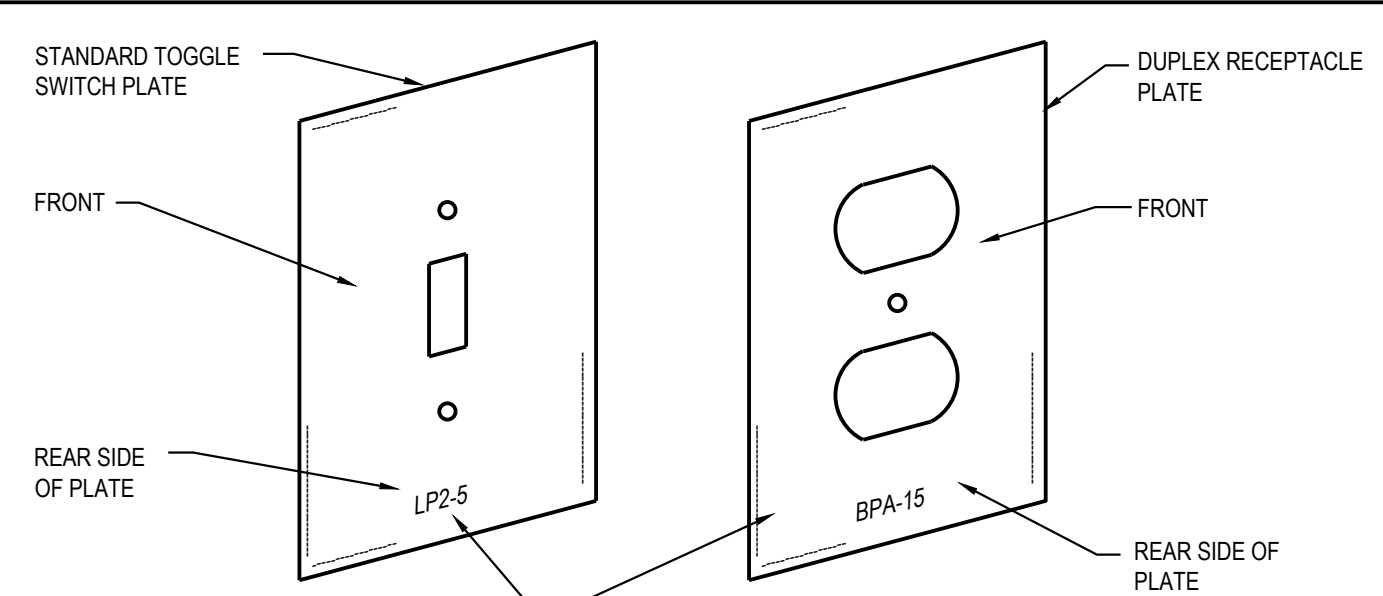
NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

ELECTRICAL SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MTG. HT. TO CL
S ₃	SINGLE POLE OR 3-WAY SWITCH-SPECIFICATION GRADE	46"
S ₄	FOUR WAY SWITCH-SPEC. GRADE	46"
S _K	KEY OPERATED SWITCH-SPEC. GRADE	46"
S _D	DIMMER SWITCH	46"
S _{IR}	IR SWITCH	46"
S _{IRD}	IR SWITCH DIMMABLE	46"
S _P	SWITCH WITH PILOT LIGHT	46"
S _M	MANUAL MOTOR STARTER SWITCH	46"
OS	OCCUPANCY SENSOR	---
PC	PHOTO CELL	---
CS	CONTROL STATION	46"
DS	DAYLIGHT SENSOR	---
C	SPLIT WIRED RECEPTACLE C-DENOTES CONTROLLED VIA RELAY OR OCC SENSOR	18"
WR	WATER RESISTANT GROUND FAULT CIRCUIT INTERRUPTER WITH WEATHERPROOF WHILE IN USE COVER	18"
Ⓛ	DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
Ⓛ	(2) DUPLEX OUTLET-SPEC. GRADE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
Ⓛ	SPECIAL SINGLE RECEPTACLE	18"
Ⓛ	SPECIAL OUTLET-CHARACTERISTICS AS NOTED ON PLANS	AS NOTED
▽	DATA OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
▽	TV OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE CIRCLE AROUND SYMBOL= CEILING MOUNTED	18"
▽	TELEPHONE OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE	18"
▽	TELEPHONE/DATA OUTLET-4" SQ. BOX W/ 1 GANG RAISED COVER 1-1/4" C. UP WALL TO CLG. SPACE	18"
◁WN		---
Ⓛ	FLOOR BOX 2 RECEPT. 2 DATA - THOMAS & BETTS-# 665-SC 1-1/4" C. TO FLOORBOX FOR DATA	---
Ⓛ	FLOOR BOX 1 RECEPT. 1 DATA - THOMAS & BETTS-# 664-SC 1-1/4" C. TO FLOORBOX FOR DATA	---
Ⓛ	JUNCTION BOX- HUBBELL NSAV2M WITH RECEPTACLE KIT HUBBELL NSOKP. PROVIDE CONNECTOR PLATE FOR A/V	AS NOTED
Ⓛ	JUNCTION BOX 4" SQ. BOX W/ 2 GANG RAISED COVER 1" C. UP WALL TO CLG. SPACE UNLESS OTHERWISE NOTED	AS NOTED
Ⓛ	POWER POLE - SEE DRAWING FOR POWER - POWER/DATA SPECIFICATIONS	---
Ⓛ	ELECTRIC UTILITY METER	---
F	FUSED DISCONNECT SWITCH- FDS-HEAVY DUTY	46"
F	NON-FUSED DISCONNECT SWITCH- NFD-HEAVY DUTY	46"
F	SW. AND PLUG/FUSE HOLDER-BUSSMANN "SSU" & FUSE/STAT FUSE	AT EQUIP.
Ⓛ	MAGNETIC MOTOR STARTER-MS	46"
Ⓛ	COMBINATION MAG. STARTER/ FUSED DISC. SWITCH - CS/FDS	46"
Ⓛ	COMBINATION MAG. STARTER/NON-FUSED DISC. SWITCH - CS/NFDS	46"
VFD	VARIABLE FREQUENCY DRIVE	---
Ⓛ	SINGLE PHASE ELECTRIC MOTOR	---
Ⓛ	THREE PHASE ELECTRIC MOTOR	---
Ⓛ	SURFACE OR FLUSH MTD. BRANCH CIRCUIT PANELBOARD	72" TO TOP
T	TRANSFORMER	---
Ⓛ	PUSH BUTTON	46"
Ⓛ	THERMOSTAT. E C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE	46"
Ⓛ	HUMIDISTAT. E C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE	46"
Ⓛ	RECESSED DOWNLIGHT LUMINAIRE	---
Ⓛ	RECESSED WALLWASH LUMINAIRE	---
Ⓛ	SURFACE LUMINAIRE	---
Ⓛ	PENDANT LUMINAIRE	---
Ⓛ	WALL MOUNTED LUMINAIRE	---
Ⓛ	SITE LIGHTING LUMINAIRE	---
Ⓛ	NIGHT LIGHT	---
Ⓛ	STRIP LUMINAIRE	---
Ⓛ	LED ACCENT/UNDER CABINET LUMINAIRE	---
Ⓛ	RECESSED LUMINAIRE 2'x4' OR 2'x2'	---
Ⓛ	SURFACE LUMINAIRE 2'x4' OR 2'x2'	---
Ⓛ	TRACK LIGHTING LUMINAIRE	---
Ⓛ	PARTIALLY SHADED LUMINAIRE OR WITH "E" SUFFIX ARE EMERGENCY	---
Ⓛ	EXIT SIGN - WALL MOUNTED OR CEILING MOUNTED ARROWS INDICATE PATH OF EGRESS	---
Ⓛ	REMOTE EMERGENCY HEAD	---
Ⓛ	BATTERY EMERGENCY LUMINAIRE	---

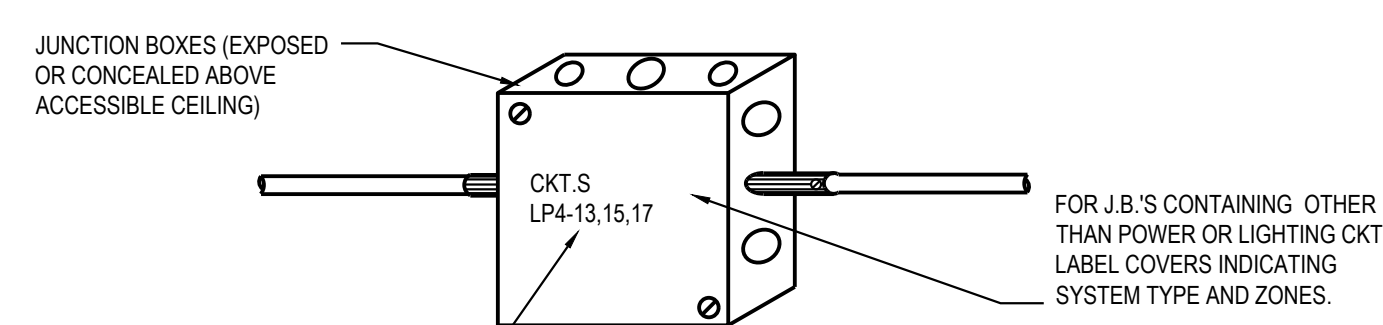
- SYMBOL NOTES:
1. "AC" DENOTES ABOVE COUNTER. COORDINATE HEIGHT WITH ARCHITECT.
2. "H" DENOTES HORIZONTAL MOUNTING OF DEVICE.
3. "B" DENOTES MOUNTED IN BASE.
4. "F" DENOTES MOUNTED IN FACE OF CABINETS.

SYSTEMS SYMBOL LEGEND		
SYMBOL	DESCRIPTION	MTG. HT. TO CL
F	FIRE ALARM PULL STATION	46"
Ⓛ WP	FIRE ALARM HORN/STROBE LIGHT (WP-DENOTES WEATHER PROOF)	80"
Ⓛ	AREA SMOKE DETECTOR-PHOTOELECTRIC	---
Ⓛ	VISUAL ONLY ALARM	80"
Ⓛ	AUDIO ONLY ALARM	---
Ⓛ	CEILING SPEAKER	---
Ⓛ	SPEAKER/STROBE LIGHT	---
Ⓛ CO	SMOKE/HORN BASE CO-DENOTES COMBO CARBON MONOXIDE/SMOKE	---
Ⓛ DH	MAGNETIC DOOR HOLD OPEN	---
Ⓛ CO	CARBON MONOXIDE SENSOR. E C TO ROUGH-IN SINGLE GANG BOX AND 1/2" C. TO ACCESSIBLE CEILING SPACE.	---
Ⓛ D	DUCT SMOKE DETECTOR	---
Ⓛ H	HEAT DETECTOR	---
Ⓛ TS	O.S.&Y TAMPER SWITCH	---
Ⓛ FS	WATER FLOW SWITCH	---
Ⓛ CR	REMOTE ALARM KEY TEST SWITCH	46"
Ⓛ	FIRE ALARM CONTROL RELAY	---
Ⓛ BD	BEAM DETECTOR	---
Ⓛ FSD	FIRE/SMOKE DAMPER	---
Ⓛ F.A.C.P.	FIRE ALARM CONTROL PANEL	---
Ⓛ F.A.A.	FIRE ALARM ANNUNCIATOR PANEL	---
Ⓛ	CEILING SPEAKER	---
Ⓛ	CARD READER	46"
Ⓛ	SECURITY DOOR CONTACT	AT DOOR HEAD
Ⓛ	SECURITY INTERCOM	46"
Ⓛ	SECURITY CAMERA - "W" DENOTES WALL MOUNTED CHEVRON INDICATES AIM LINE	TYPICALLY CLG MOUNTED
Ⓛ	SECURITY DOOR REQUEST TO EXIT	AT DOOR HEAD

- F.A. NOTES:
1. E.C. TO PROVIDE CONNECTION TO ALL DUCT DETECTORS WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT. COORDINATE QUANTITY AND LOCATIONS WITH MECHANICAL CONTRACTOR SCHEDULES, REVIEWING ALL CFM REQUIREMENTS. PROVIDE DUCT DETECTORS IF NOT NOTED TO BE PROVIDED BY M.C.
2. E.C. TO PROVIDE CONNECTIONS TO ALL FLOW AND TAMPER SWITCHES WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT. COORDINATE QUANTITY AND LOCATIONS WITH FIRE PROTECTION DRAWINGS AND/OR DESIGN BUILD CONTRACTOR.
3. E.C. TO PROVIDE EMERGENCY POWER TO FIRE ALARM BOOSTER POWER SUPPLIES WHEN EMERGENCY POWER SYSTEM IS AVAILABLE.



LABEL CKT. NO. OF EACH DEVICE ON REAR SIDE OF COVER PLATE. USE PERMANENT MARKER PEN, BRADY MARKING SYSTEM OR OTHER METHOD APPROVED BY THE ENGINEER



LABEL COVERS WITH CKT.'S CONTAINED WITHIN. USE PERMANENT MARKER PEN OR OTHER APPROVED METHOD.

LABEL EXAMPLES:
" FIRE ALARM-ZONES 2&3"
" P.A. ZONES 4,5,8&6"
" DATA CIRCUITS A&B"
" EXIT SIGNS-EM&Z"
" EMERG. CKTS. BPEM-3,4"

A-1
E1.00
N.T.S.

ELECTRICAL IDENTIFICATION

LIGHT FIXTURE LEGEND								
FIXTURE TYPE	DESCRIPTION	MANU.	CATALOG PART#	FINISH	VOLTAGE	LAMPS	Wattage	REMARKS
A	2x4 LAY-IN	LITHONIA METALLUX COLUMBIA	EPANL 2X4 3000LM 80CRI 35K MIN 10 ZT MVOLT	WHITE	MVOLT	LED 3500K 3141 LUMENS	29W	NOTE 1,2
EM1	REMOTE HEAD WEATHERPROOF SINGLE	LITHONIA SURE LITE COMPASS CHLORIDE	ELA-QWP-L0309-SD	WHITE/GRAY	9.6	LED	1.5W/HEAD	MOUNT AT 9'-6" AFF NOTE 1,2
EM2	EMERGENCY BUG EYE	LITHONIA ISOLITE WILLIAMS DUAL LITE	ELM2L-SDRT	WHITE	NA	LED	1	MOUNT AT 7'-6" AFF NOTE 1,2
E1	EXIT COMBO	LITHONIA ISOLITE WILLIAMS DUAL LITE	LHQM LED R HO	WHITE	NA	LED	1	MOUNT AT 7'-6" AFF NOTE 1,2

GENERAL LIGHT FIXTURE SCHEDULE NOTES:
1. VERIFY LIGHT FIXTURE FINAL SELECTION AND SPECIFICATIONS WITH OWNER AND ARCHITECT PRIOR TO ORDERING.
2. EQUAL FIXTURES BY LITHONIA, METALLUX, DAYBRITE OR OTHER PREAPPROVED MANUFACTURERS ARE ACCEPTABLE

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Phone: 616-742-2810
Project # 2025083

ELECTRICAL SPECIFICATIONS

- 26-0500 GENERAL PROVISIONS
- FURNISH AND INSTALL FIRST-CLASS WORKING SYSTEMS, TESTED AND READY FOR OPERATION, COMPLETE WITH LABOR AND MATERIALS (U.L. APPROVED COMMERCIAL GRADE). CONFORM TO DRAWINGS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS. USE PROPER NEMA RATED EQUIPMENT (i.e. "SR" WEATHERPROOF, "1" GENERAL DUTY, ETC.)
 - COORDINATE WITH THE DRAWINGS AND SPECIFICATIONS OF THE OTHER TRADES AND WITH THE OWNER.
 - FIELD VERIFICATION OF ALL DIMENSIONS ARE REQUIRED, EXACT LOCATIONS, DISTANCES, AND LEVELS WILL BE GOVERNED BY ACTUAL FIELD CONDITIONS.
 - COMPLY WITH THE NATIONAL ELECTRICAL CODE 2023, PLUS LOCAL OR STATE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS APPLICABLE TO THE PARTICULAR CLASS OF WORK; ANY FEES IN CONNECTION THEREWITH ARE TO BE PAID BY ELECTRICAL CONTRACTOR.
 - COMPLETE REQUIRED DEMOLITION, MAINTAINING OPERATION OF EXISTING TO REMAIN (COORDINATE WITH GC REGARDING ANY PHASING OF THE PROJECT) REWIRE EXISTING CIRCUITS IF REQUIRED.
 - WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE.

TESTING

- WORK REQUIRED UNDER THIS HEADING SHALL BE BY THE ELECTRICAL CONTRACTOR (OR AS NOTED) AND INCLUDES ALL SUPERVISION, LABOR, MATERIALS, INSTRUMENTATION AND EQUIPMENT NECESSARY TO EFFECTIVELY TEST, MEASURE AND VERIFY THE PERFORMANCE OF THE ELECTRICAL EQUIPMENT SYSTEMS.

26-0 529, 26-0533, 260534 RACEWAY, BOXES, AND FITTINGS

- ALL WIRING SHALL BE RUN IN CONCEALED EMT (THINWALL) CONDUIT IN THE FINISHED AREAS OF THE BUILDING. CONDUIT MAY BE EXPOSED IN EQUIPMENT ROOMS OR OVERHEAD IN ROOMS WITHOUT CEILINGS. CONDUITS EXPOSED TO WEATHER TO BE RGC (RIGID GALVANIZED CONDUIT), MC CABLE ALLOWED IN AREAS ALLOWED PER NATIONAL ELECTRICAL CODE AND NOT SUBJECT TO DAMAGE.
- HORIZONTAL AND VERTICAL CONDUIT RUNS MAY BE SUPPORTED BY ONE-HOLE MALLEABLE STRAPS, CLAMP-BACKS OR OTHER APPROVED DEVICES.
- CONDUITS SHALL NOT BE RUN IN NOR SUPPORTED FROM DUCTWORK.

26-0219 CONDUCTORS

ALL CONDUCTORS SHALL BE NEW. ALL CONDUCTORS FOR POWER AND LIGHTING SYSTEMS WIRING SHALL BE 98% CONDUCTIVITY COPPER TYPE THHN OR THW. ALUMINUM IS TO BE PERMITTED FOR SERVICE ENTRANCE AND PANEL FEEDS. BRANCH CIRCUIT WIRING SHALL BE COPPER. TYPE NM, NMC AND NMS SHALL BE ALLOWED PER 334.10- MULTI FAMILY STRUCTURES PERMITTED UNDER TYPES III, IV AND V CONSTRUCTION.

26-2736 WIRING DEVICES

- CONVENIENCE OUTLETS SHALL BE SPECIFICATION GRADE, RATED AT 20 AMPERE, GROUNDING TYPE, 125 VOLT, AND BEAR U.L. LABEL OF APPROVAL. STAINLESS STEEL COVER PLATES. MANUFACTURERS: PASS AND SEYMOUR CATALOG 5251-1, OR EQUAL BY HUBBLE, AND LEVITON.
- ALL SWITCHES FOR LIGHTING SHALL BE SPECIFICATION GRADE RATED AT 20 AMPERE, 120/277 VOLTS. PASS AND SEYMOUR CATALOG 20AC-1 OR EQUAL BY HUBBLE, AND LEVITON.

16350 GROUNDING

- INSTALL COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE.
- INSTALL BONDING WIRE IN NONMETALLIC AND FLEXIBLE CONDUIT CONNECTED AT SOURCE END TO PANELBOARD EQUIPMENT GROUND BAR AND AT LOAD END TO ENCLOSURE.
- EXTEND COMPLETE BUILDING GROUNDING SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. INCLUDE INSULATED GROUND FOR ALL EXTERIOR AS WELL AS TOILET CIRCUITS.

26-5113 LIGHTING

- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND/OR INSTALL ALL FIXTURES WITH LAMPS, AS SHOWN ON THE DRAWINGS AND AS LISTED IN THE FIXTURE LEGEND. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ADEQUATE SUPPORTING FACILITIES FOR THE LIGHTING SYSTEM.
- WHERE RECESSED FIXTURES ARE INSTALLED IN CEILINGS FINISHED IN ACOUSTICAL TILE PATTERNS OR LAYOUTS, THE ELECTRICAL CONTRACTOR SHALL WORK IN COOPERATION WITH THE CEILING SUPPLIERS IN LOCATING AND FRAMING FIXTURES.

26-2816 CONTROLS

- COMPLETE CONTROLS FOR LIGHTING AND MECHANICAL EQUIPMENT, AS NOTED ON THE DRAWINGS. ALL LIGHTING CONTROLS SHALL COMPLY WITH 2015 MICHIGAN ENERGY CODE.
- APPROVED MANUFACTURERS: ACUITY, COOPER, HUBBELL AND LEVITON.

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SCALE: AS SHOWN DATE: 4/11/25 DRAWN BY: M. DELORA CHECKED BY: C. LADEWIG
PROJECT NUMBER: 25004490A DRAWING NAME: REVIEWED BY: C. LADEWIG

SHEET TITLE: **DETAILS, SYMBOL LEGENDS AND SPECIFICATIONS**

SHEET NUMBER: **E1.00**

DEMOLITION POWER AND LIGHTING KEYNOTES:

- 1 REMOVE EXISTING WIRING DEVICES IN WALLS TO BE REMOVED. PULL WIRING BACK TO SOURCE.
- 2 RELOCATE EXISTING SWITCHING WHERE WALLS ARE TO BE REMOVED. LIGHTS TO REMAIN.
- 3 NO WORK IN THIS AREA.
- 4 REMOVE EXISTING 2X4 LIGHTS AND DISPOSE OF PROPERLY. REUSE EXISTING CIRCUIT.

GENERAL POWER NOTES:

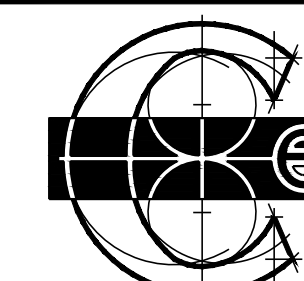
1. ALL 15A & 20A 120V NON-LOCKING RECEPTACLES WITH PUBLIC SPACES WHERE CHILDREN CAN BE FOUND SHALL BE LISTED TAMPER RESISTANT PER NEC 406.12. THIS INCLUDES SCHOOLS, HOTELS, CLINICS, OUTPATIENT FACILITIES, PLACES OF WAITING AND ALL COMMON USE AREAS (CORRIDORS, GYM, MUSIC ETC.). REPLACE ALL EXISTING RECEPTACLES WITH TAMPER RESISTANT.
2. MOUNT PANELS, TRANSFORMERS, DISCONNECT SWITCHES, AND COMBINATION MOTOR STARTERS WITH ADEQUATE CLEARANCES IN ACCORDANCE WITH NEC 110.
3. VERIFY ALL EQUIPMENT REQUIREMENTS, CONNECTION TYPES, AND LOCATIONS WITH EQUIPMENT SUPPLIER AND NAMEPLATES PRIOR TO ROUGH-IN.
4. EXISTING FIRE ALARM DEVICES TO REMAIN.
5. FIRE ALARM (FA) DEVICES, IF SHOWN, ARE DIAGRAMMATIC IN NATURE ONLY AND ARE INTENDED ONLY TO COMMUNICATE MAJOR SYSTEM COMPONENTS AND APPROXIMATE LOCATIONS. FULL FA DRAWINGS TO BE DELEGATED DESIGN AND SHALL INCLUDE ALL SYSTEM COMPONENTS, CALCULATIONS AND LOCATIONS.

POWER/LIGHTING KEYNOTES:

- 1 NO WORK IN THIS AREA.
- 2 EXISTING LIGHTS TO REMAIN. PROVIDE NEW SWITCHING AS SHOWN.
- 3 RELOCATE EXISTING CAMERA/COMMUNICATIONS FROM VESTIBULE X100.
- 4 CONNECT NEW DEVICES TO NEAREST AVAILABLE PANEL FOR CIRCUITS.
- 5 RELOCATE EXISTING CAMERA CLOSER TO NEW ENTRANCE.
- 6 EXISTING FIRE ALARM DEVICES TO REMAIN.

GENERAL LIGHTING NOTES:

1. CONNECT EMERGENCY LIGHTING TO CIRCUIT FEEDING GENERAL LIGHTING IN THAT AREA.
2. EXIT SIGNS TO BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT OR EMERGENCY LIGHTING CIRCUIT FEEDING THAT AREA.
3. LIGHTING CONTROL SHALL COMPLY WITH 2015 MICHIGAN ENERGY CODE WHERE APPLICABLE.



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 Project # 2025083

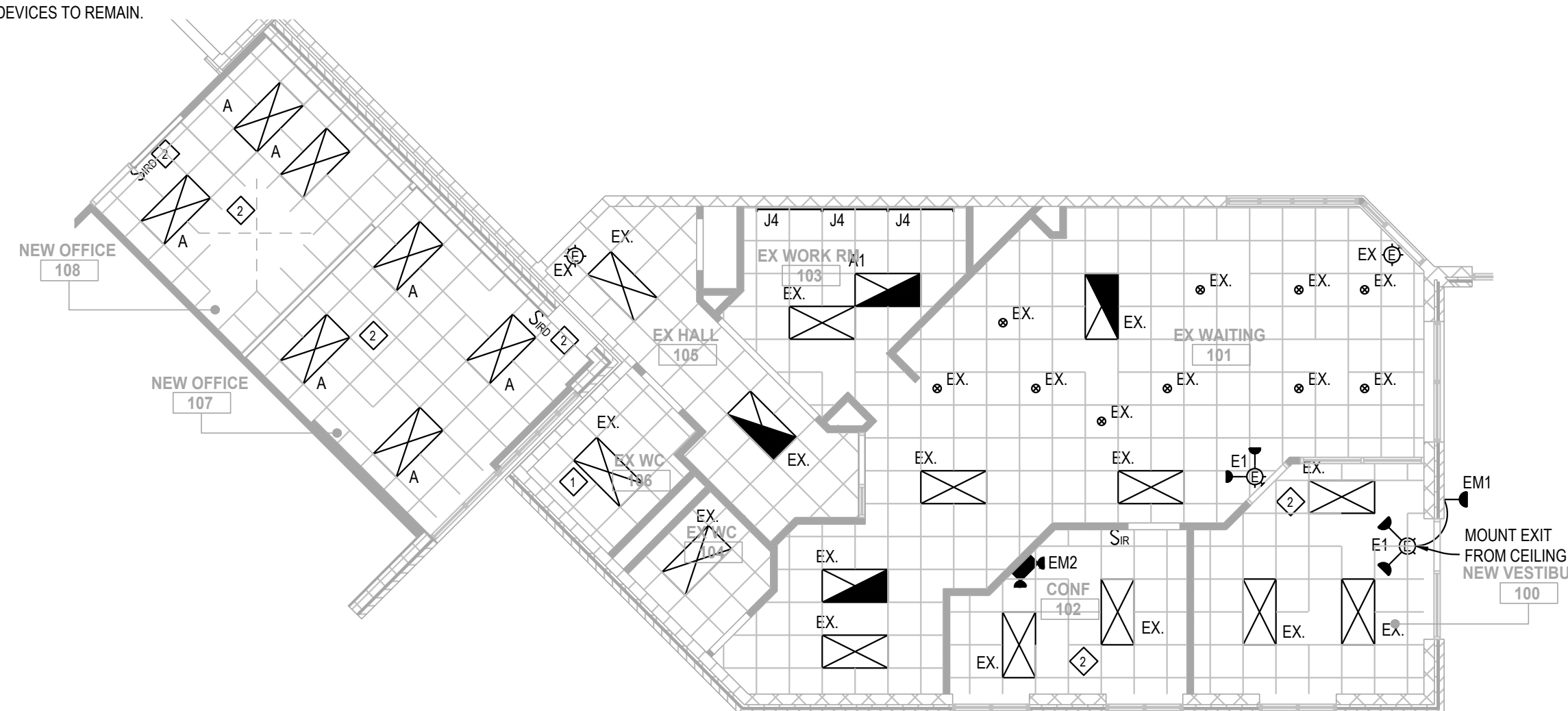
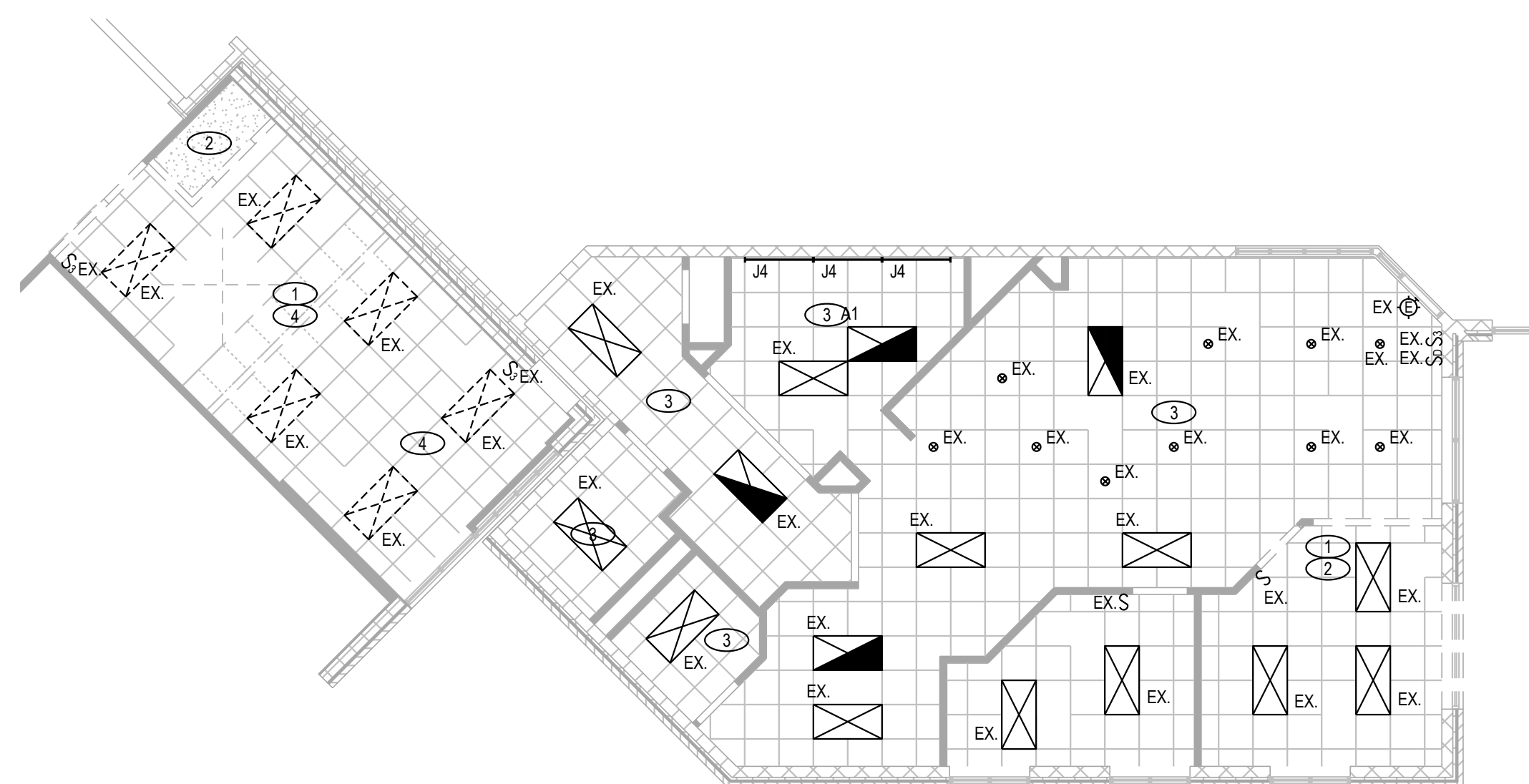


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4 FIRST FLOOR REFLECTED CEILING DEMOLITION PLAN

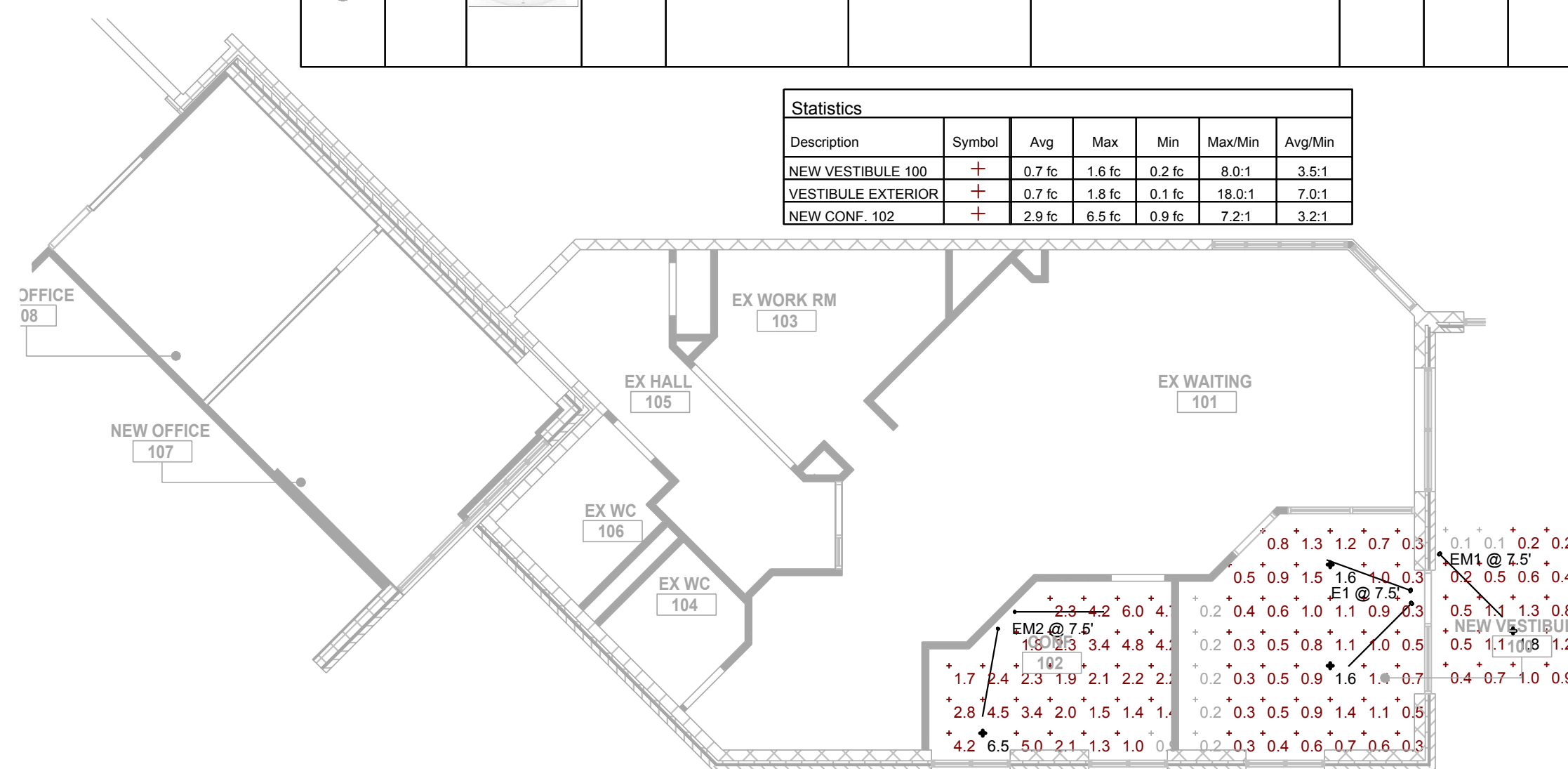
SCALE: 1/8" = 1'-0"

3 FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"

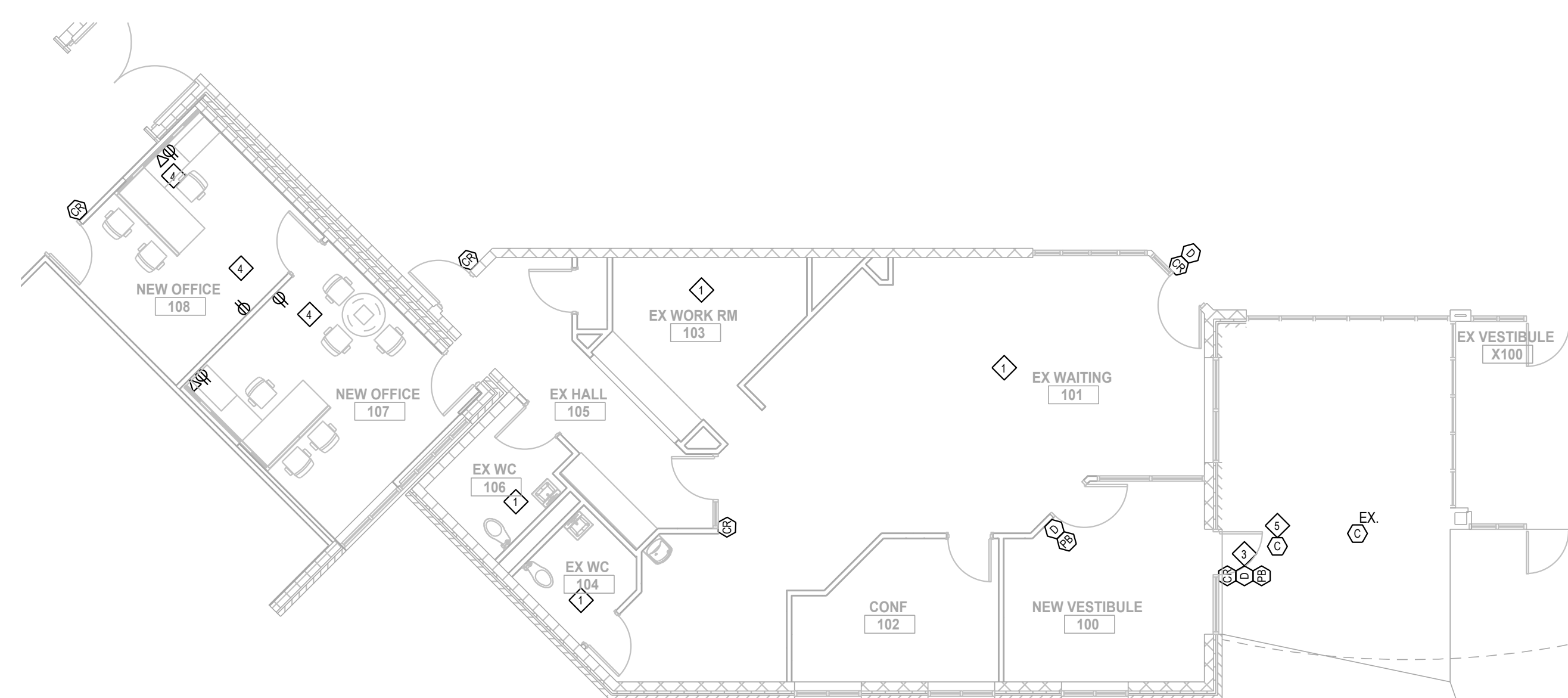
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	E1		1	Lithonia Lighting	LHQM LED	QUANTUM LED EMERGENCY COMBO (ONE HEAD ONLY)	1	Absolute	1	1.5	
○	EM1		1	Lithonia Lighting	ELA Q L0304	ELM2 LED REMOTE LAMP HEAD	1	80	1	0	
○	EM2		1	Lithonia Lighting	ELM4L	ELM4L SP640L	1	345	1	2.5	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
NEW VESTIBULE 100	+	0.7 fc	1.6 fc	0.2 fc	8.0:1	3.5:1
VESTIBULE EXTERIOR	+	0.7 fc	1.8 fc	0.1 fc	18.0:1	7.0:1
NEW CONF. 102	+	2.9 fc	6.5 fc	0.9 fc	7.2:1	3.2:1



2 FIRST FLOOR PHOTOMETRICS PLAN

SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

REV	DATE	DESCRIPTION
041125		

STATE OF MICHIGAN
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 04.11.25

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SCALE: AS SHOWN DATE: 4/11/25 DRAWN BY: M. DELORA CHECKED BY: C. LADEWIG
 PROJECT NUMBER: 25004490A DRAWING NAME: REVIEWED BY: C. LADEWIG
FIRST FLOOR PLAN - LIGHTING/POWER/DEMOLITION
 SHEET NUMBER: **ELP101**